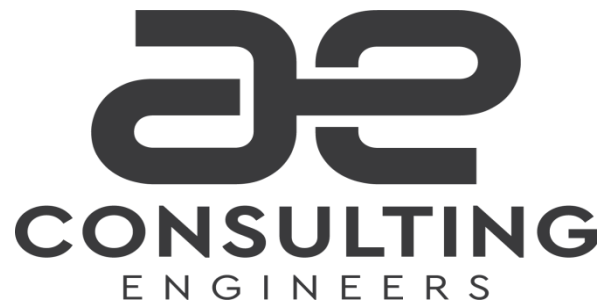




Flood Impact Assessment

1 McPherson Avenue, Punchbowl NSW 2196

Project No. F24161

Prepared by: Ali El Hussein

A.E Consulting Engineers Pty Ltd

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REVISION

REVISION	DATE	COMMENT	APPROVED BY
1	30 th August 2024	Initial Issue	AE

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INTRODUCTION

A.E Consulting Engineers have been engaged to prepare this Flood Impact Assessment to accompany the Application for the proposed Villas Town/Houses at 1 Mcpherson Avenue, Punchbowl. The purpose of the Report is to;

- Outline the flood risk for the proposed development in accordance with Canterbury Bankstown Council DCP,
- Discuss the risk management in accordance with the Council's DCP and provide Flood Risk Management procedures.

This document illustrates that the proposed development can be carried out to meet the requirements of Canterbury Bankstown Council. This will also include proposed strategies to ensure the developments compliance.

EXISTING SITE CHARACTERISTICS

The existing site characteristics consist of a single storey brick residence. The topography of the site is fall towards Cross Street. The slope falls from the southern boundary to the northern boundary of the site at approximately 3.3%.

The site is situated adjacent to residential properties, this can be seen in the figure below. The site also has an open concrete stormwater channel located along the northern boundary within the site.

The Survey plans can be found in Appendix C of this report.



Figure 1: Site Location Aerial (Source: Mecone 2024)

The proposed works will consist of demolition of existing and construction of Villas Town/Houses, as seen in Figure 2. The ground floor level of units 1 to 5 is RL 13.30m AHD. A full set of architectural plans can be found in Appendix B of this report.



Figure 2: Proposed Development Site Plan

FLOOD INFORMATION

The 100 year ARI flood level at the site is RL 12.8m AHD, in accordance to council’s Salt Pan Creek Overland Flow Catchment Study and Council Flood information (REF: WP-SIAONL-2215/2023) refer to Appendix D for full Stormwater System Report.

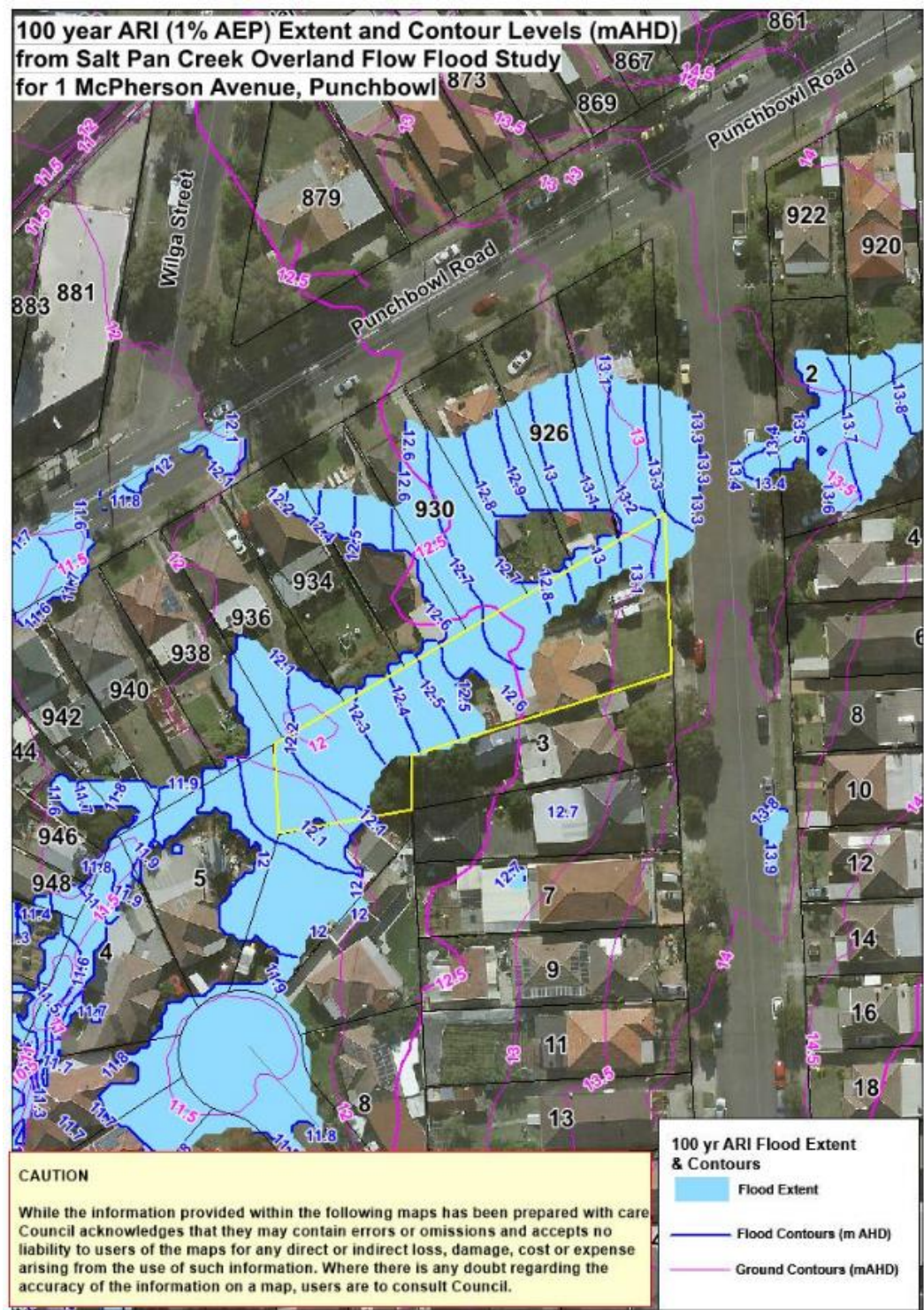


Figure 3: 100 Year ARI (1% AEP) Extent

MITIGATION FLOODING

The following flood mitigation measures are to be adopted to demonstrate a compliant development and prevent adverse flood impacts.

- The ground floor FFL of RL 13.30m AHD, inclusive of 500mm freeboard, to be adopted for all units.
- Open Style Flood Fence to be installed along the northern, western and south western boundaries to allow for the free flow of flood waters.
- All electrical wiring, equipment, valuable goods and hazardous materials to be waterproofed or installed above the 1% AEP Flood level (RL 12.80m AHD).
- All proposed structures below floodplain level must be constructed from flood compatible material. The table regarding flood compatible material can be found in Appendix A. Refer to Structural engineering plans for further details.

By incorporating these mitigation measures and the flood risk management procedures below a compliant development can be achieved, in line with councils Flood Plain Risk Management Policy.

- During flood events many local, major streets and roads will be cut off by floodwaters that may make the escape by vehicle extremely difficult. Travelling through floodwaters on foot or in a vehicle can be very dangerous as obstructions can be hidden under the floodwaters, or it is possible to be swept away, even if in a car, or the water may be polluted. It is recommended that during any flood event, staying within the building as much as practical is always the safest option. If the rainfall event has occurred, do not evacuate the building unless instructed by the State Emergency Services (SES) or police.
- Develop your own 'Family Flood Plan' generally in accordance with this Flood Emergency Response Plan. In the case that flooding should occur and children are home alone, arrangements should be ensured the children are aware not to leave the premises and to follow the 'Family Flood Plan'.
- Stay tuned to ABC 702 on a battery powered radio for official advice and warnings
- Don't allow any children to play in or near flood waters.
- Avoid entering flood waters in all circumstances unless it is necessary. Check the depth in front of you before every step using a stick/pole or similar.
- Stay away from drains, culverts, and areas where the water is deeper than your knee.
- Don't turn on your gas or electricity until it has been checked by a professional/licensed repairer.
- Beware of fallen power lines.
- Notify family and friends of your whereabouts.

FLOOD MANAGEMENT PLAN

Background

Canterbury Bankstown Council has advised that this property is subject to flooding in a 1% AEP (1 in 100 year AEP) storm event. The Probable Maximum Flood (PMF) is the highest flood level that is ever likely to occur, however it is extremely rare.

Council has no information regarding Tsunami in Canterbury Bankstown Local Government.

Procedure

1. Floods in Canterbury Bankstown Local government are considered as “flash floods” and no warning systems are available. Storms leading to major flooding are typically 2 hours long, however shorter storms as little as a 30 minutes long can produce significant flooding. Once the storm passes floodwater usually disappear rapidly.
2. During floods many local and major streets and roads will be cut by floodwaters. Traveling through floodwaters on foot or in a vehicle can be very dangerous as the water may be polluted, obstructions can be hidden under the floodwaters, or you could be swept away. Council recommends staying within the home as much as practical as this is the safest option. If you need to leave the home do so early in the flood event, before the flood level reaches the rear of the dwelling.
3. In the event of a flood on the site, the site could be inundated with flood water. In the event of a flood the NSW SES will advise the community of the requirements to evacuate. NSW SES Phase 1: Governing authorities will issue an Evacuation Warning prior to flood levels rising to prepare for a possible evacuation. When the initial warning is issued raise or remove all valuable goods, equipment, hazardous materials and evacuate vehicles and people. NSW SES Phase 2: Governing authorities will begin evacuation, evacuees are encouraged to move using their own transport where possible (SES can arrange transport by taxi or bus if required and when time and resources permit).
4. Develop your own family flood plan and be prepared if flooding should occur while the kids are coming home from school or when you are returning from work. Talk to the Council to determine the safer travel routes that are less likely to be cut by floodwaters.
5. For below ground garages do not attempt to save the car if floodwaters start to enter the garage, it is too dangerous as water levels will rise rapidly and you could be trapped.
6. As the flood level approaches the garage floor level (but only if safe to do so) relocate any items that may be damaged by water, or poisons, or wastes to as high a level as possible.
7. As the flood level approaches the habitable floor level:
 - i) gather medicines, special requirements for babies or the elderly, mobile phones, first aid kit, special papers and any valuables into one location,
 - ii) put on strong shoes, raise any items within the home that may be damaged by water (e.g. photo albums) to as high a level as possible, with electrical items on top. Turn off and disconnect any large electrical items such as a TV that cannot be raised.
 - iii) place wet towels across the bottom and lower sides of external doors to slow down the entry of water through the door.

8. In the very rare event that floodwaters may enter the home collect items from 6.i) above and move to an upper level if possible, or if in a single level dwelling provide a chair in the kitchen to enable access to the kitchen bench preferably adjacent to the window. Ensure window is not locked or key readily available. Do not evacuate the home unless instructed to do so by the SES or the Police. Remember floodwaters are much deeper and flow much faster outside.
9. In the case of a medical emergency ring 000 as normal, but explain about the flooding.
10. A laminated copy of this flood plan should be permanently attached (glued) on an inside cupboard door in the kitchen and laundry and to the inside of the electrical meter box.
11. This flood management should be reviewed every 5 years, particularly with the potential effects of Climate Change with sea level rise and increased rainfall intensities.

CONCLUSION

Based on the flood impact assessment of this document, Canterbury Bankstown Council Flood information and acceptable engineering practice, it has been demonstrated that the proposed development is compliant to the satisfaction of council's guidelines. The below items are to be concluded from this report.

- The ground floor FFL of RL 13.30m AHD, inclusive of 500mm freeboard, to be adopted for all units.
- Open Style Flood Fence to be installed along the northern, western and south western boundaries to allow for the free flow of flood waters.
- All electrical wiring, equipment, valuable goods and hazardous materials to be waterproofed or installed above the 1% AEP Flood level (RL 12.80m AHD).
- All proposed structures below floodplain level must be constructed from flood compatible material. The table regarding flood compatible material can be found in Appendix A. Refer to Structural engineering plans for further details.

By incorporating these flood mitigation measure, the risk of damage or injury due to flooding will be reduced to the satisfaction of council's guidelines and the proposed developments effects and/or impacts on the existing flooding conditions will be minimised.

We trust that this information is sufficient for your purposes, however should you have any queries in regards to this report please feel free to contact the undersigned.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'A. El Hussein', with a stylized flourish at the end.

Ali El Hussein

B.Eng (Civil-Structures), Dip.Eng.Prac, M.I.E. Aust.

APPENDIX A – FLOOD COMPATIBLE MATERIALS

Building Component	Flood Compatible Material	Building Component	Flood Compatible Material
Flooring and Sub Floor Structure	• pier and beam construction or • suspended reinforced concrete slab	Doors	• solid panel with waterproof adhesives • flush door with marine ply filled with closed cell foam • painted material construction • aluminium or galvanised steel frame
Floor Covering	• clay tiles • concrete, precast or in situ • concrete tiles • epoxy, formed-in-place • mastic flooring, formed-in-place • rubber sheets or tiles with chemical set adhesive • silicone floors formed-in-place • vinyl sheets or tiles with chemical-set adhesive • ceramic tiles, fixed with mortar or chemical set adhesive • asphalt tiles, fixed with water resistant adhesive • removable rubber-backed carpet	Wall and Ceiling Linings	• brick, face or glazed • clay tile glazed in waterproof mortar • concrete • concrete block • steel with waterproof applications • stone, natural solid or veneer, waterproof grout • glass blocks • glass • plastic sheeting or wall with waterproof adhesive
Wall Structure	solid brickwork, blockwork, reinforced, concrete or mass concrete	Insulation	• foam or closed cell types
Windows	Aluminium frame with stainless steel or brass rollers	Nails, Bolts, Hinges and Fittings	• galvanised • removable pin hinges

APPENDIX B - ARCHITECHURAL PLANS

PROPOSED MULTI DWELLING HOUSING

1 MCPHERSON AVENUE
PUNCHBOWL NSW 2196
LOT 2 DP536605



DRAWING LIST			
SHEET NUMBER	SHEET NAME	CURRENT REVISION DATE	CURRENT REVISION
A001	COVER PAGE	05.07.24	F
A002	SEDIMENT & SOIL EROSION PLAN	05.07.24	E
A004	SITE ANALYSIS PLAN	05.07.24	E
A100	SITE PLAN	05.07.24	F
A101	GROUND FLOOR PLAN (UNIT 1 - 3)	05.07.24	E
A102	FIRST FLOOR PLAN (UNIT 1 - 3)	05.07.24	E
A103	GROUND FLOOR PLAN (UNIT 4 & 5)	05.07.24	F
A104	FIRST FLOOR PLAN (UNIT 4 & 5)	05.07.24	E
A201	BUILDING SECTIONS - SHEET 1	05.07.24	D
A202	BUILDING SECTIONS - SHEET 2	05.07.24	D
A203	BUILDING SECTION - SHEET 3	05.07.24	E
A301	ELEVATIONS - SHEET 1	05.07.24	E
A302	ELEVATIONS - SHEET 2	05.07.24	E
A303	ELEVATIONS - SHEET 3	05.07.24	F
A304	ELEVATIONS - SHEET 4	05.07.24	F
A501	3D PERSPECTIVE VIEWS	05.07.24	F
A601	PROPOSED WINTER SOLSTICE SHADOW DIAGRAM	05.07.24	D
A602	PROPOSED EQUINOX SHADOW DIAGRAM	05.07.24	D

GENERAL NOTES

- Architectural plans to be read in conjunction with detailed survey plan prepared by a registered surveyor
- All dimensions are in millimeters unless noted otherwise
- Dimensions are taken from wall or brick face, not plaster, render or other finish face
- Verify location of services on site prior to construction.

Materials:

- Floors:
- Ground Floor reinforced concrete slab to engineer's details
 - First Floor reinforced concrete slab construction to engineer's details
 - Internal floor finishes to be selected
- Walls:
- External walls on ground and first floor are generally 250mm brick veneer
 - Internal walls are generally 90mm timber stud
- Note: provide construction joints and articulation joints as required.
- Construction joints to engineer's details

Recycled Plantation Timbers:

- Use only suitable plantation timbers selected from timbers listed in local council specifications
- Any timber framing to comply with AS 1684.

Termite Protection:

- Install physical barriers for termite protection to comply with the NCC and AS 3660.1 - 2014

Balustrades:

- Continuous balustrades or other barriers will be provided and installed in accordance with the requirements (including design and location) of Part 3.9 of the BCA – Housing Provisions.
- All treads, internal or external, or nosing's of a stairway to comply with slip-resistance classification of (AS 4586-2013 and Table 3.9.1.3 of the BCA).

Stairs:

- Stairway head height clearance – minimum 2000mm in accordance with current NCC

Pool & Fencing:

- Install pool fencing to comply with Swimming Pools Act 1992 and AS 1926 and the NCC. Pool fence to be no less than 1.2m high and be fitted with a latching device not readily openable by a young child and constructed to automatically close and latch.
- ☐ Swimming pool overflow to connect to sewer.
 - ☐ Pool pump & filter in soundproof enclosure, enclosure to be 1m high.

Smoke Alarm:

- Install smoke alarm system to comply with NCC and AS 3786

Electrical

- All electrical works to comply with AS/NZS 3000

Landscaping:

- Refer to plan and details prepared by the Landscape Architect

Mechanical Ventilation:

- Provide mechanical ventilation where necessary to comply with the NCC

Windows:

- Windows to comply with AS 2047. Glazing to comply with the NCC and AS 1288. Restrictors to be fitted to all openable windows with a sill height less than 1.7m above adjacent ground level in accordance with the NCC

Tiles:

- Tiles to comply with AS 3958.1

Ramp:

- Ramp to comply with AS 2890.1

Reinforced Concrete Slabs, Footings, Lintels and Beams:

- To future structural engineer's details.

Stormwater:

- Stormwater and drainage identified on the architectural plans are indicative only. Refer to hydraulic plans for details.
- Guttering to comply with the NCC and AS 3500. Downpipe locations to comply with AS 3500. Install rainwater tank to BASIX specifications.

NCC COMPLIANCE

- Comply with the National Construction Code 2022, Volume Two and Volume Three: Plumbing and Drainage

DEVELOPMENT DATA

CANTERBURY - BANKSTOWN LOCAL ENVIRONMENTAL PLAN 2023
CANTERBURY - BANKSTOWN DEVELOPMENT CONTROL PLAN 2023

LOT 2 SITE AREA: 1453.0m²

UNIT 1

PROPOSED GROUND FLOOR: 60.72m²
PROPOSED FIRST FLOOR: 70.87m²
PROPOSED TOTAL FLOOR AREA: 131.6m²

UNIT 2

PROPOSED GROUND FLOOR: 51.03m²
PROPOSED FIRST FLOOR: 69.13m²
PROPOSED TOTAL FLOOR AREA: 120.16m²

UNIT 3

PROPOSED GROUND FLOOR: 58.07m²
PROPOSED FIRST FLOOR: 68.4m²
PROPOSED TOTAL FLOOR AREA: 126.47m²

UNIT 4

PROPOSED GROUND FLOOR: 50.14m²
PROPOSED FIRST FLOOR: 61.1m²
PROPOSED TOTAL FLOOR AREA: 111.24m²

UNIT 5

PROPOSED GROUND FLOOR: 124.98m²
PROPOSED ATTIC: 29.98m²
PROPOSED TOTAL FLOOR AREA: 154.96m²

PROPOSED FLOOR AREA:
PERMITTED MAX. FLOOR AREA: 726.5m²
(FSR 0.5:1)
PROPOSED TOTAL FLOOR AREA: 644.43m²

PRIVATE OPEN SPACE

REQUIRED PER UNIT: 40m²
PROPOSED POS FOR UNIT 1: 56.57m²
PROPOSED POS FOR UNIT 2: 53.71m²
PROPOSED POS FOR UNIT 3: 46.52m²
PROPOSED POS FOR UNIT 4: 44.38m²
PROPOSED POS FOR UNIT 5: 70.90m²

SETBACKS

FRONT SETBACK: 6m
REAR SETBACK: 3.33m
SIDE SETBACK: 2.5m

BUILDING HEIGHT

PERMITTED MAX. BUILDING HEIGHT: 8.5m - Complies

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C	17.06.24	DRAFT DA FOR REVIEW
B	12.06.24	DRAFT DA FOR REVIEW
ISSUE	DATE	REVISION

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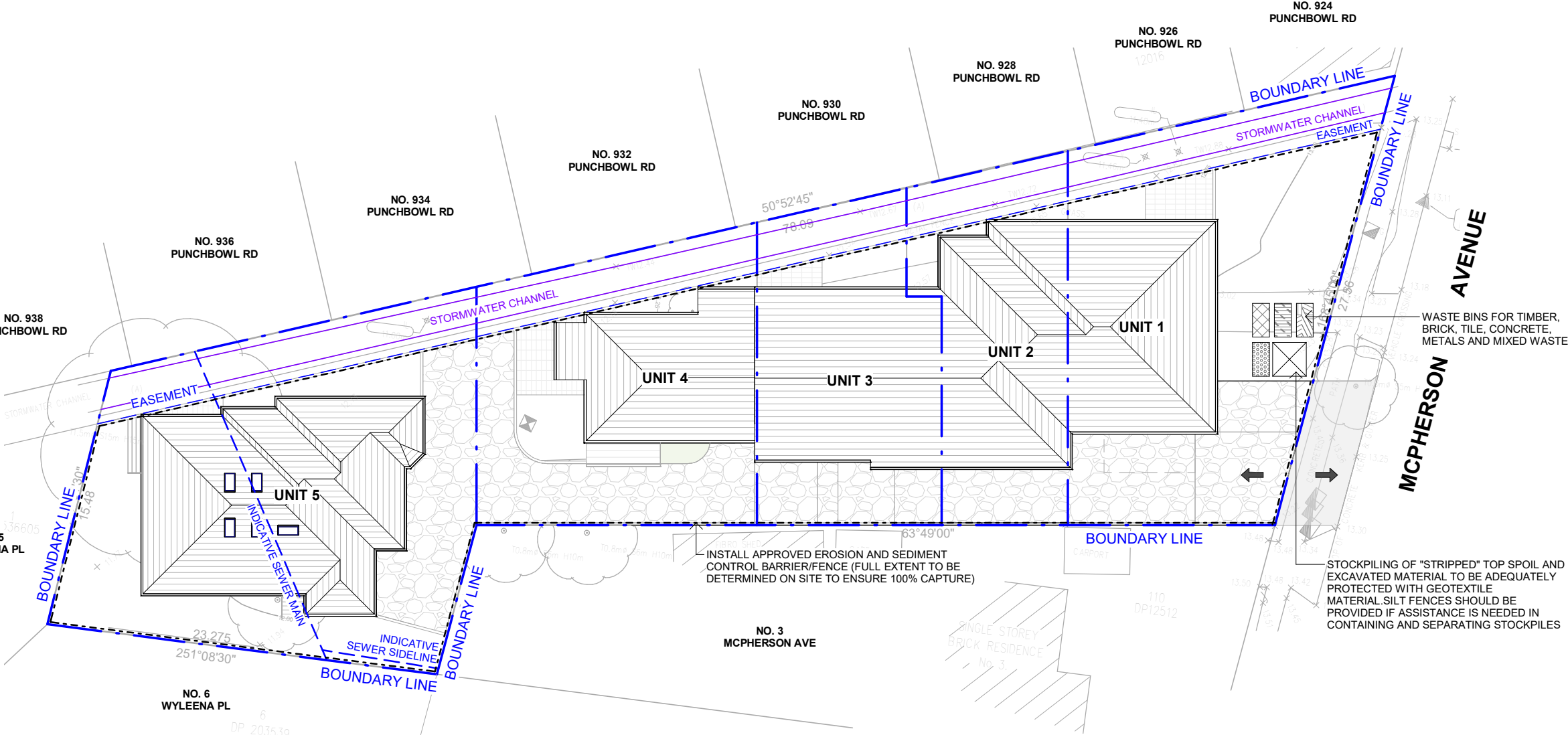
SEDIMENT RUN-OFF CONTROL
DURING EARTHWORKS:

EROSION & SEDIMENT CONTROL

1. CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION ACROSS FRONT OF PROPERTY AND TO THE LOW AREAS OF ADJOINING SITES. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
2. EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
3. SEDIMENT FENCING IS TO BE REMOVABLE ACROSS SITE ACCESS.
4. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
5. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
6. TOPSOIL THAT IS REMOVED TO BE STRIPED AND STOCK PILED AT REAR OF SITE FOR RE-USE.
7. GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
8. CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

MAINTENANCE PROGRAM

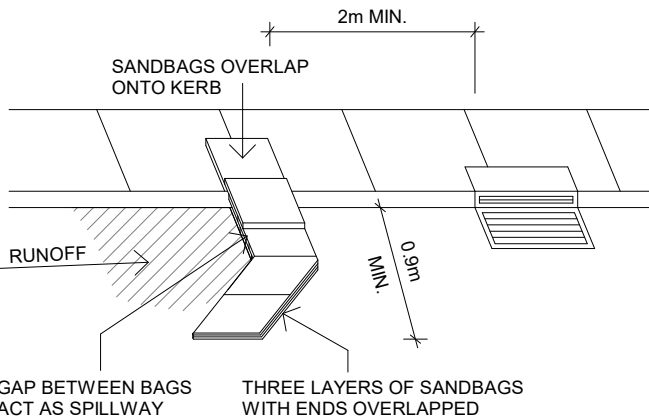
1. SEDIMENT TRAPS AND FENCES TO BE CHECKED AND MAINTAINED ON A WEEKLY BASIS AT LEAST AND AFTER EVERY STORM EVENT TO ENSURE ADEQUATE OPERATION.
2. CONNECTION TO EXISTING DISCHARGE DRAINAGE SYSTEMS TO BE CARRIED OUT AT THE EARLY STAGES OF THE CONSTRUCTION.
3. MAINTAIN SITE ACCESS IN AN EFFECTIVE CONDITION THROUGH REMOVAL OF SEDIMENT AND/OR ADDITION OF EXTRA AGGREGATE ON DAILY BASIS.
4. WORK TO BE PHASED, TRUCK MOVEMENT MINIMISED ON DISTURBED AREAS AND GROUND SURFACE TO BE KEPT DAMP (NOT WET) TO LIMIT DUST EMISSIONS.
5. BINS TO BE EMPTIED ON A WEEKLY BASIS AS NECESSARY. WASTE TO BE DISPOSED OF IN AN APPROVED MANNER.
6. REPAIR AREAS OF EROSION AS REQUIRED.



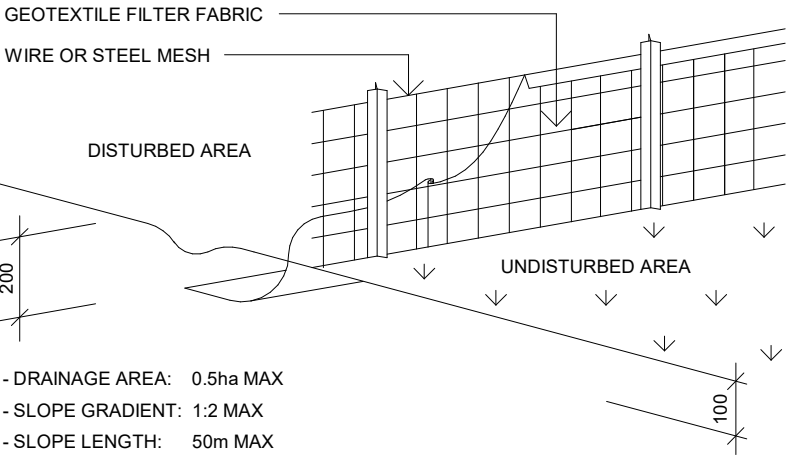
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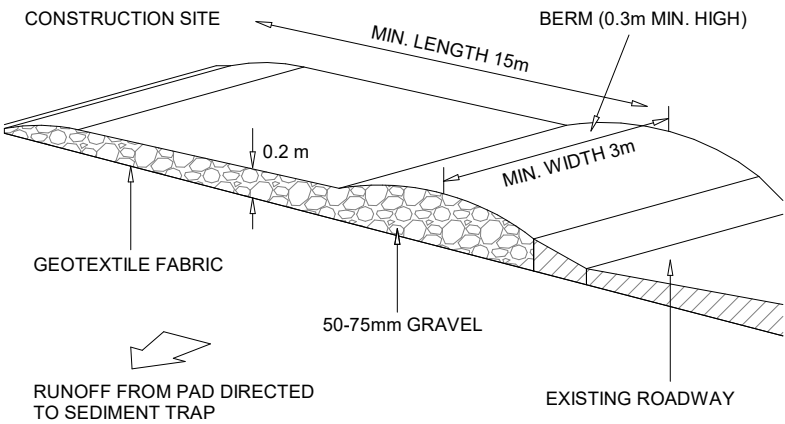
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- TIMBER DISPOSAL BIN 3m³
- MIXED WASTE DISPOSAL BIN 3m³
- METALS DISPOSAL BIN 3m³



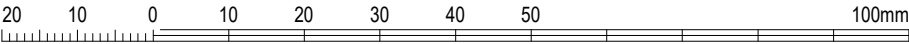
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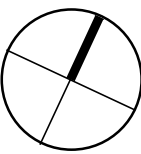
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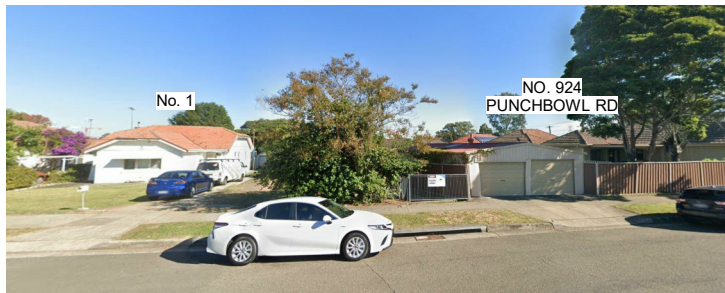
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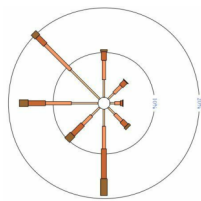
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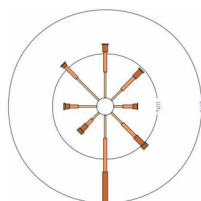
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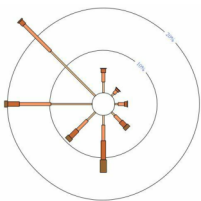
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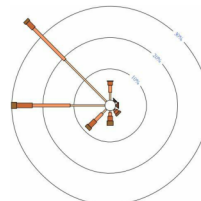
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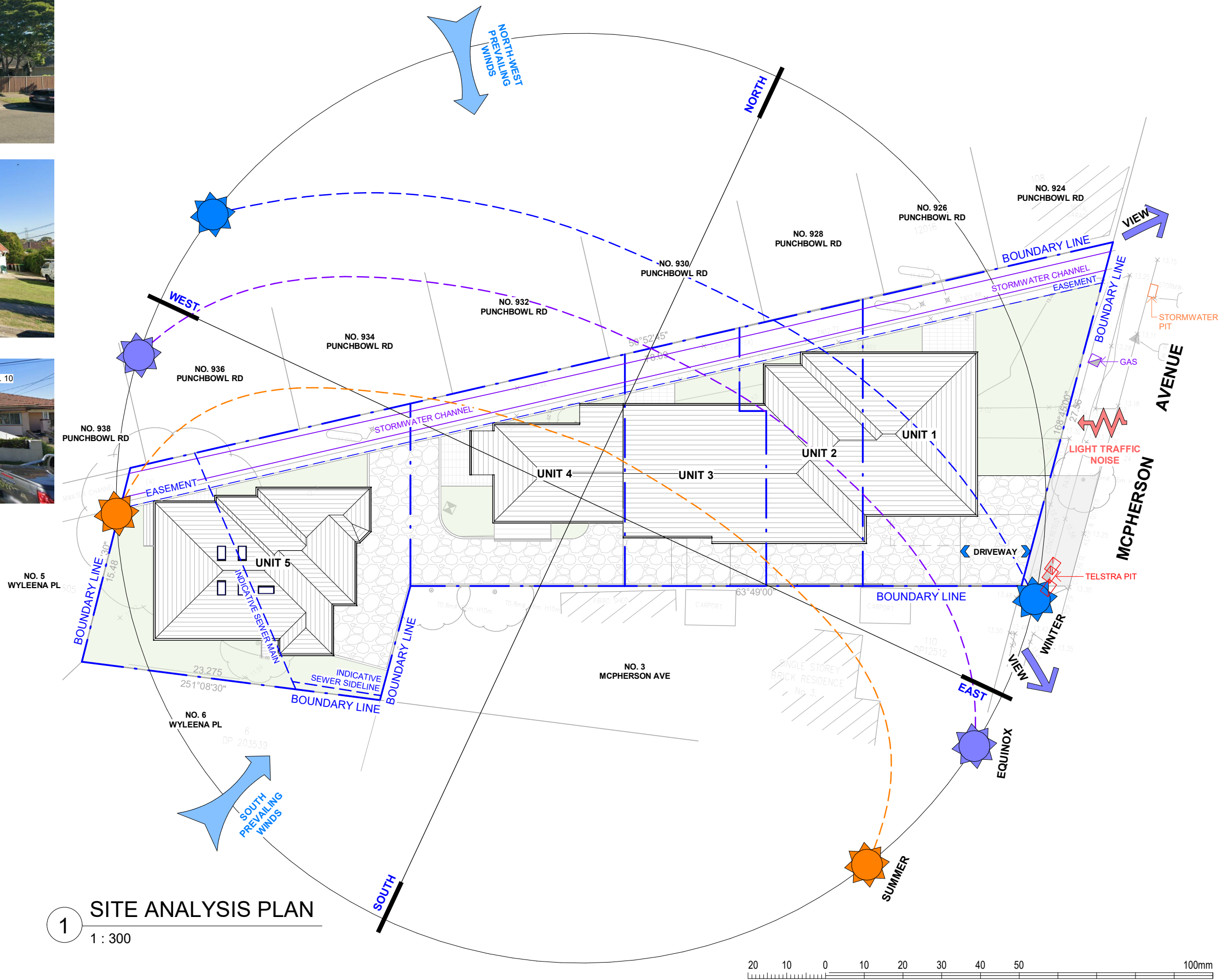
SUMMER SYDNEY WIND



AUTUMN SYDNEY WIND



WINTER SYDNEY WIND

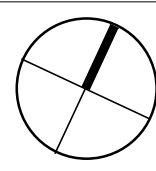


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SITE ANALYSIS PLAN

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DEVELOPMENT DATA

CANTERBURY - BANKSTOWN LOCAL ENVIRONMENTAL PLAN 2023
CANTERBURY - BANKSTOWN DEVELOPMENT CONTROL PLAN 2023

LOT 2 SITE AREA: 1453.0m²

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PROPOSED FIRST FLOOR: 70.87m²
PROPOSED TOTAL FLOOR AREA: 131.6m²

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PROPOSED GROUND FLOOR: 50.14m²
PROPOSED FIRST FLOOR: 61.1m²
PROPOSED TOTAL FLOOR AREA: 111.24m²

UNIT 5
PROPOSED GROUND FLOOR: 124.98m²
PROPOSED ATTIC: 29.98m²
PROPOSED TOTAL FLOOR AREA: 154.96m²

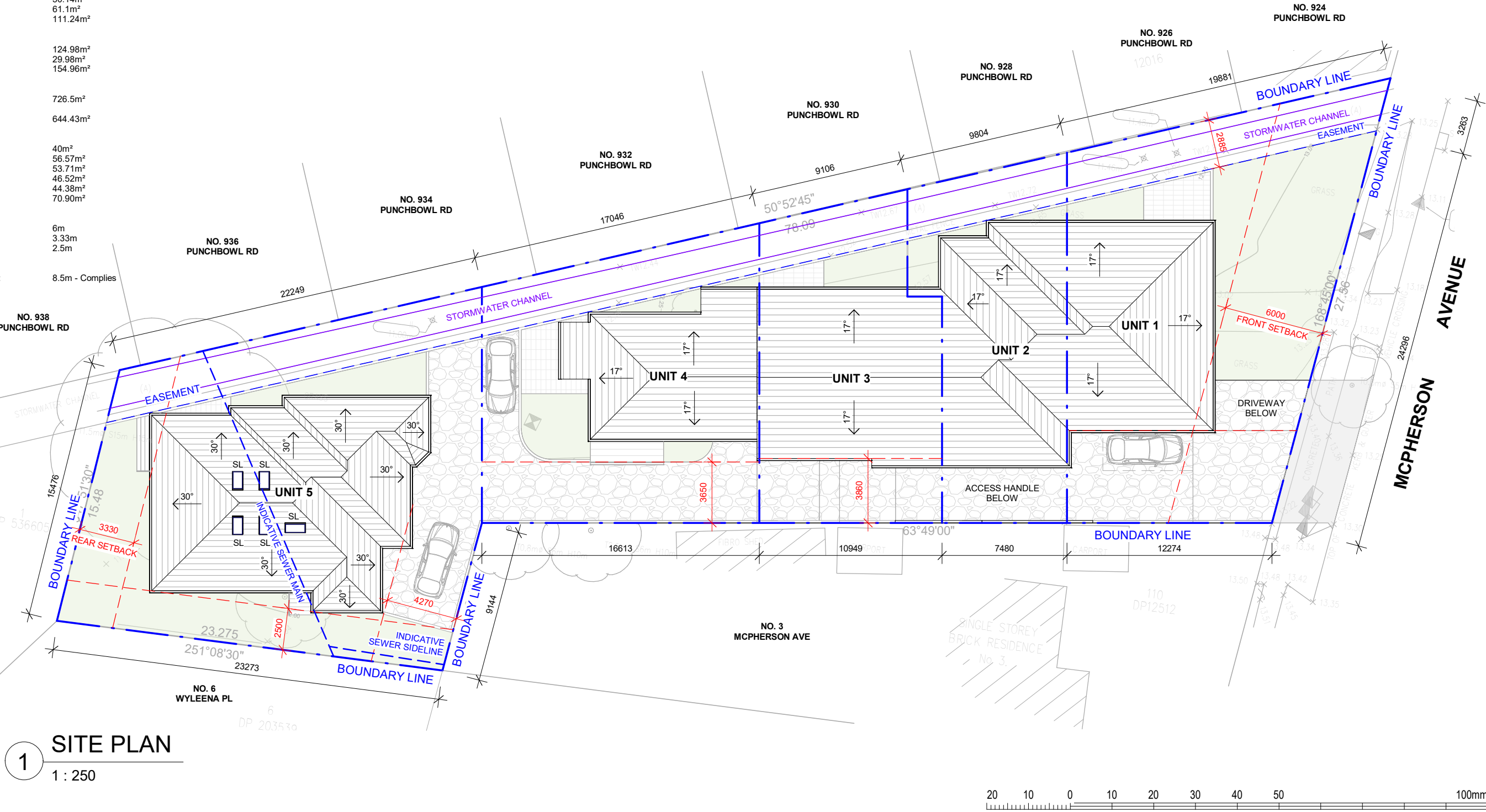
PROPOSED FLOOR AREA:
PERMITTED MAX. FLOOR AREA:
(FSR 0.5:1)
PROPOSED TOTAL FLOOR AREA: 644.43m²

PRIVATE OPEN SPACE
REQUIRED PER UNIT:
PROPOSED POS FOR UNIT 1: 56.57m²
PROPOSED POS FOR UNIT 2: 53.71m²
PROPOSED POS FOR UNIT 3: 46.52m²
PROPOSED POS FOR UNIT 4: 44.38m²
PROPOSED POS FOR UNIT 5: 70.90m²

SETBACKS
FRONT SETBACK: 6m
REAR SETBACK: 3.33m
SIDE SETBACK: 2.5m

BUILDING HEIGHT
PERMITTED MAX. BUILDING HEIGHT: 8.5m - Complies

NOTE:
ARCHITECTURAL DRAWINGS TO BE READ
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1 SITE PLAN
1 : 250

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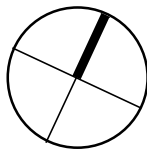
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LOT 2 DP536605

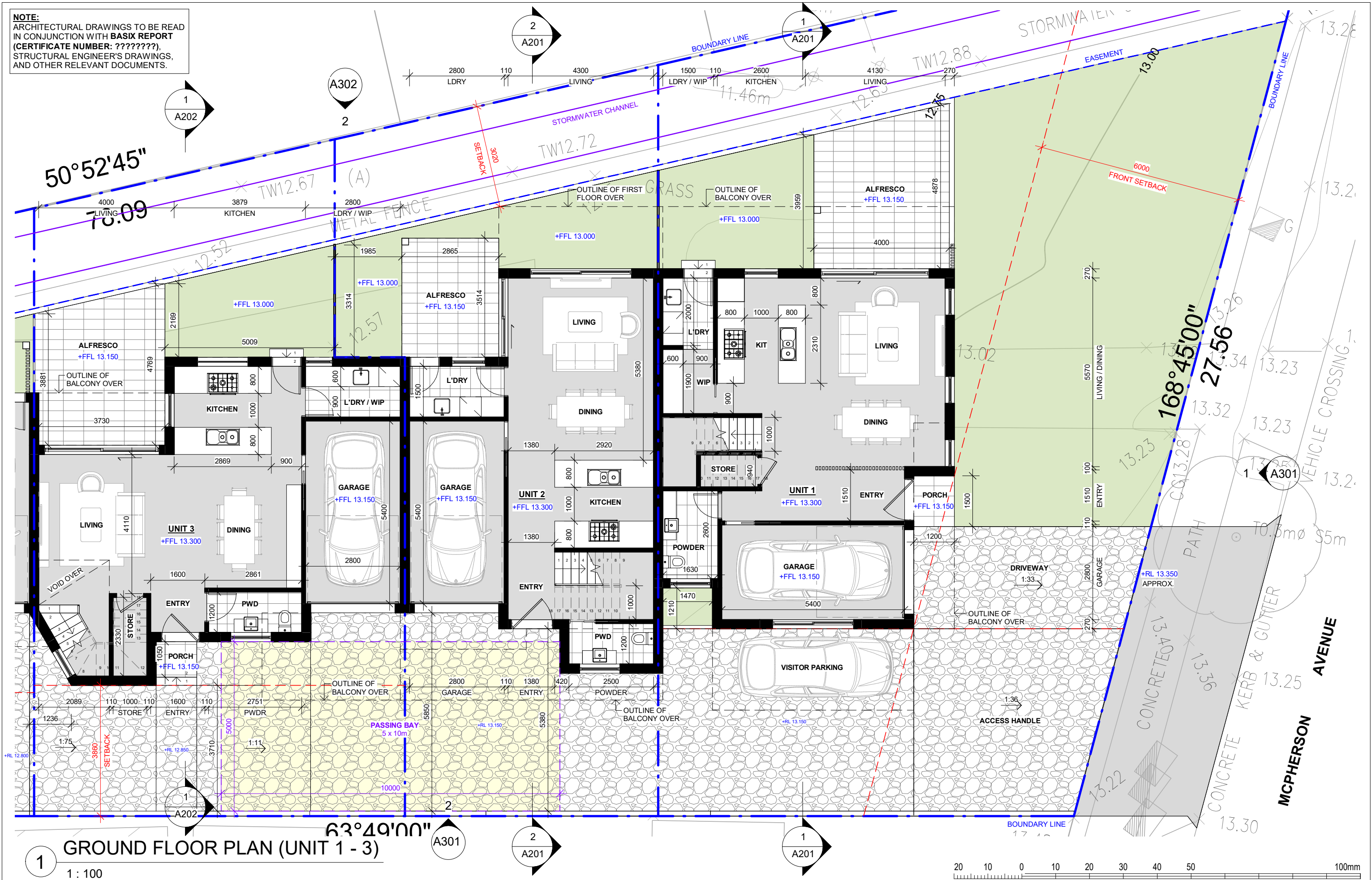
drawing
SITE PLAN

print 05.07.24
drawn: AD
checked CH
scale As indicated @A3

DA ISSUE

job
RG24.17
drawing
issue
F
A100

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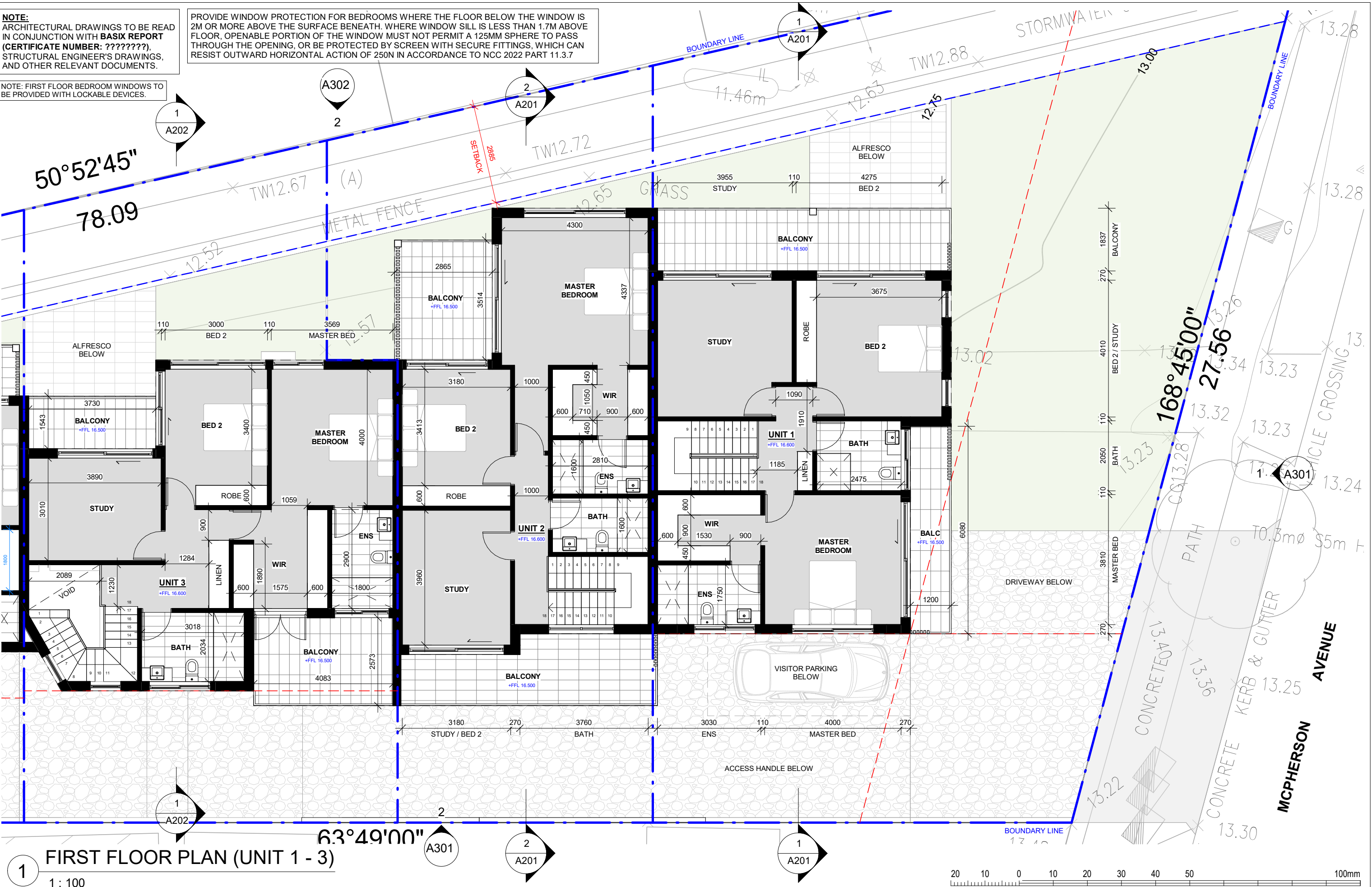
client BASSIM OMAR
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LOT 2 DP536605

drawing GROUND FLOOR PLAN (UNIT 1 - 3)
print 05.07.24
drawn: AD
checked: CH
scale 1:100 @A3
DA ISSUE
job RG24.17
drawing issue
E A101

NOTE:
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IN CONJUNCTION WITH **BASIX REPORT**
(**CERTIFICATE NUMBER: ????????**),
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AND OTHER RELEVANT DOCUMENTS.

NOTE: FIRST FLOOR BEDROOM WINDOWS TO
BE PROVIDED WITH LOCKABLE DEVICES.

PROVIDE WINDOW PROTECTION FOR BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS
2M OR MORE ABOVE THE SURFACE BENEATH. WHERE WINDOW SILL IS LESS THAN 1.7M ABOVE
FLOOR, OPENABLE PORTION OF THE WINDOW MUST NOT PERMIT A 125MM SPHERE TO PASS
THROUGH THE OPENING, OR BE PROTECTED BY SCREEN WITH SECURE FITTINGS, WHICH CAN
RESIST OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE TO NCC 2022 PART 11.3.7



FIRST FLOOR PLAN (UNIT 1 - 3)

1 : 100

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B	12.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

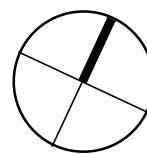
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drawing

**FIRST FLOOR PLAN
(UNIT 1 - 3)**

print 05.07.24
drawn: AD
checked: CH
scale 1:100 @A3

DA ISSUE

job

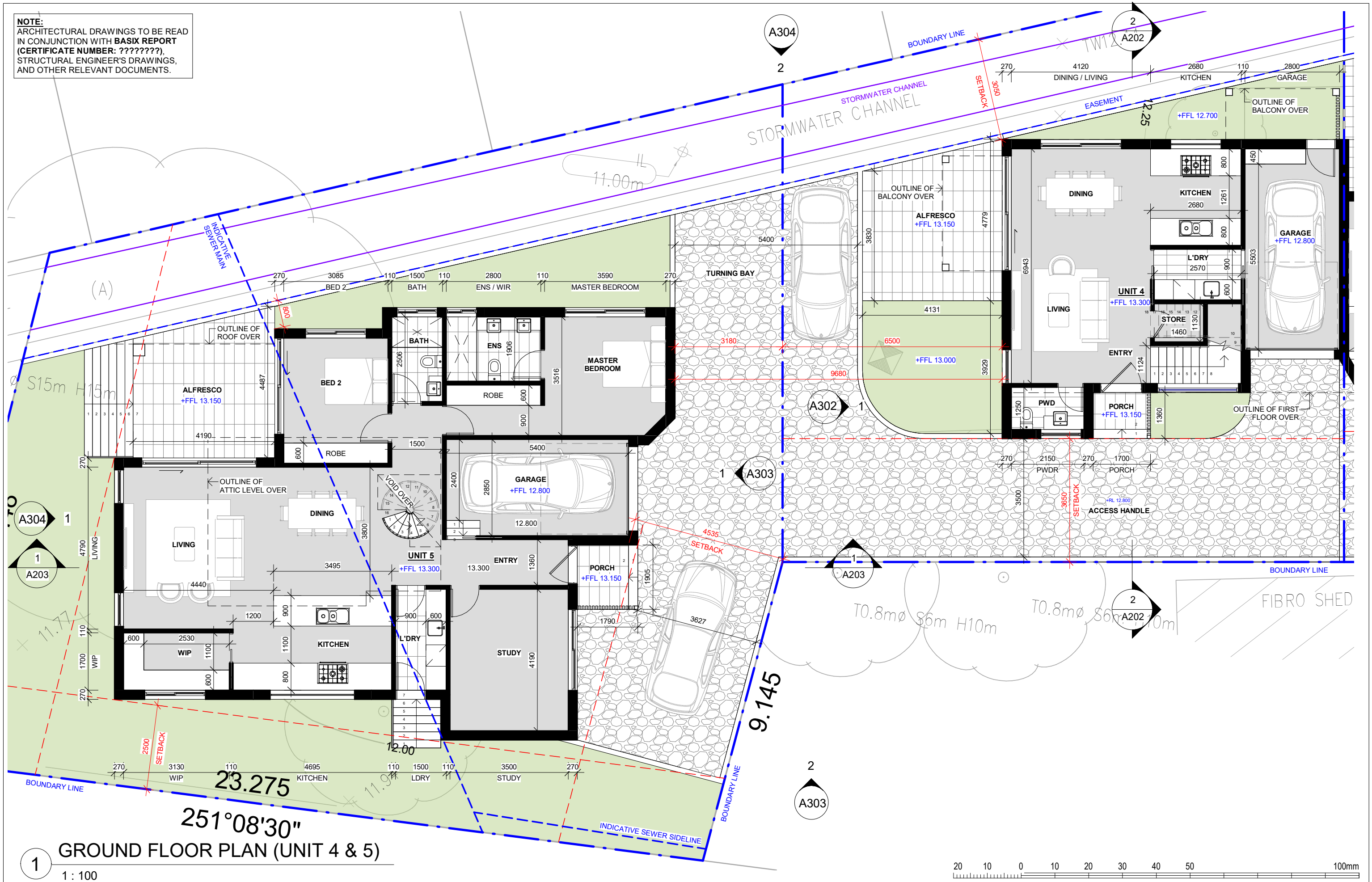
RG24.17

drawing

issue

E
A102

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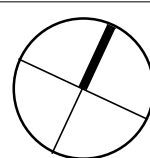
GROUND FLOOR PLAN (UNIT 4 & 5)

1 : 100

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drawing
GROUND FLOOR PLAN (UNIT 4 & 5)

print 05.07.24
drawn: AD
checked: CH
scale 1:100 @A3
DA ISSUE

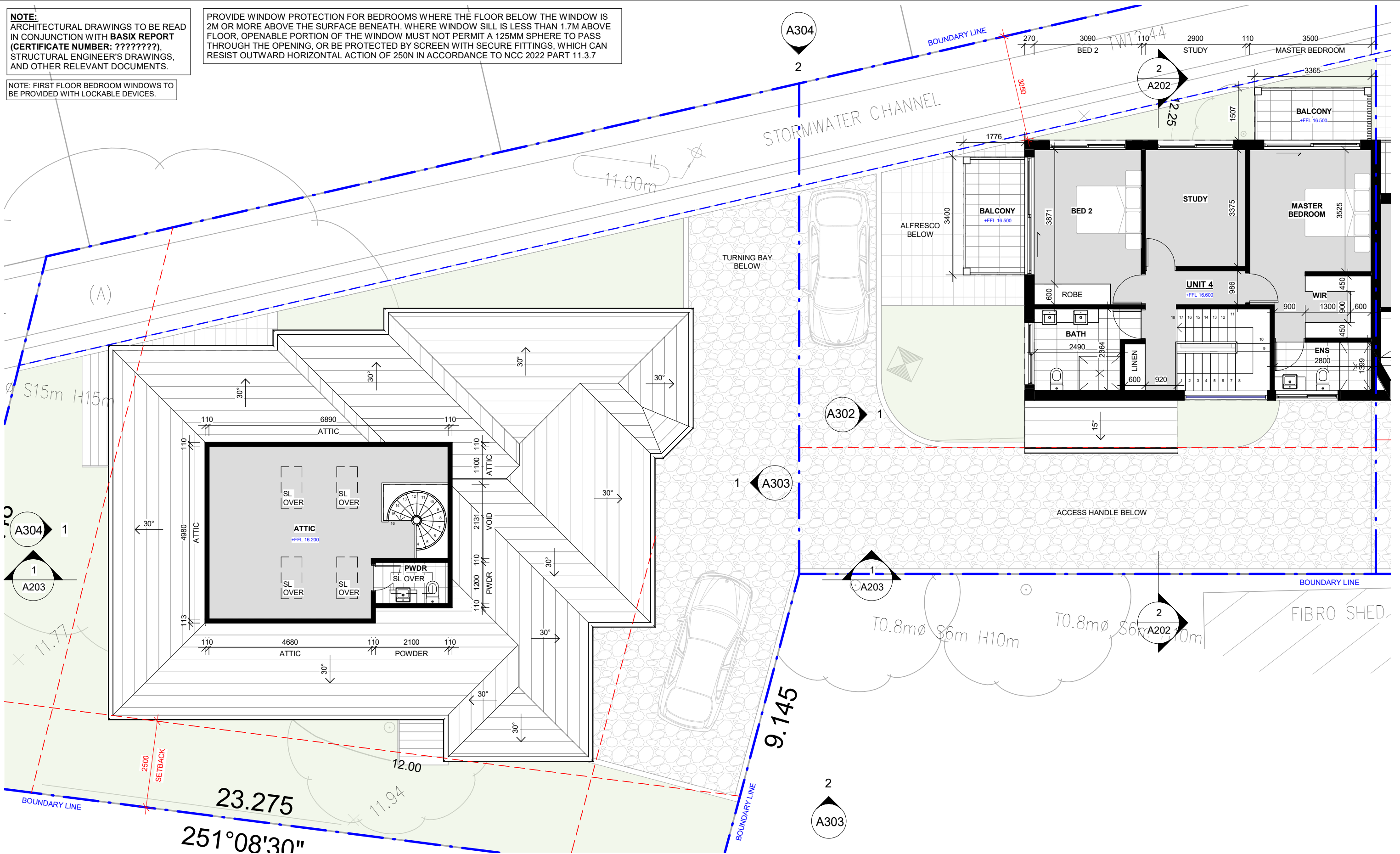
RG24.17
drawing

F
A103

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1 FIRST FLOOR PLAN (UNIT 4 & 5)

1 : 100

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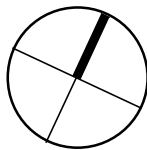
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drawing

FIRST FLOOR PLAN (UNIT 4 & 5)

print 05.07.24
drawn: AD
checked: CH
scale 1 : 100 @A3

DA ISSUE

job

RG24.17

issue

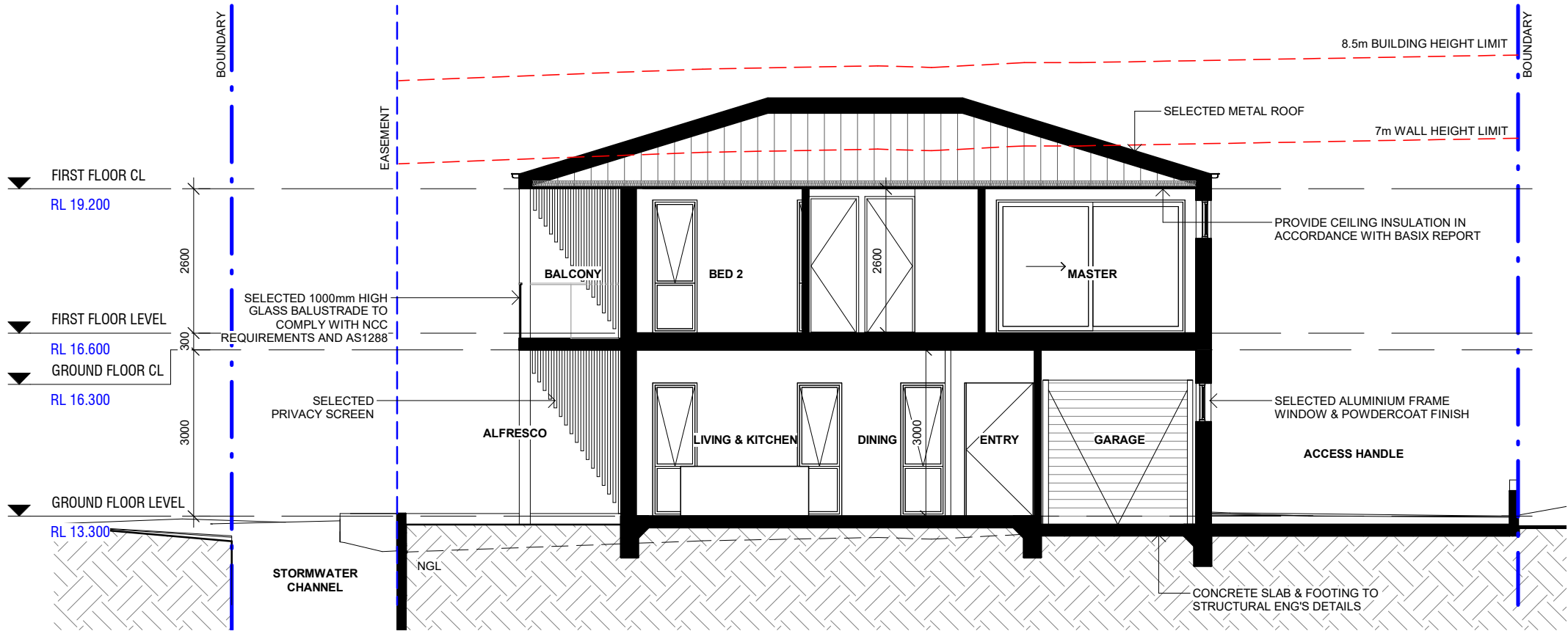
E

drawing

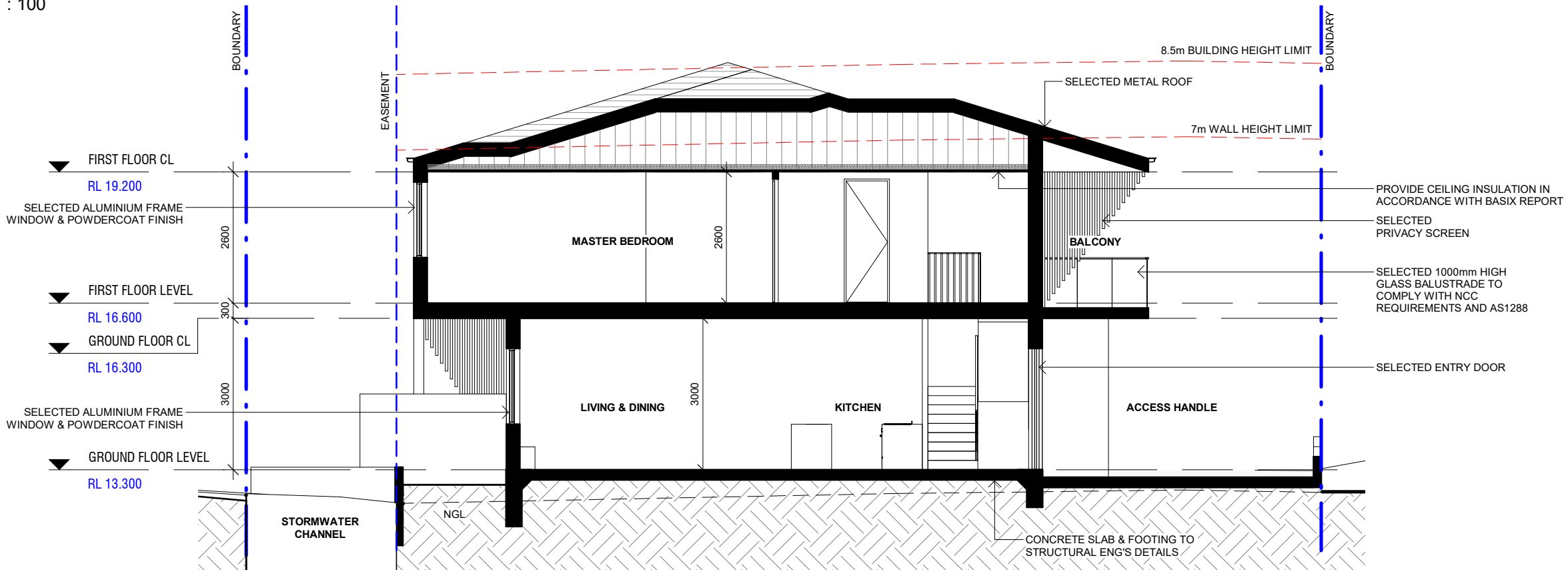
A104

NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

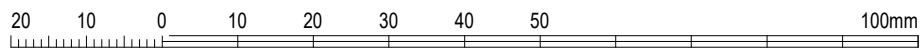
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1
SECTION - UNIT 1
1 : 100



2
SECTION - UNIT 2
1 : 100



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drawing
BUILDING SECTIONS -
SHEET 1

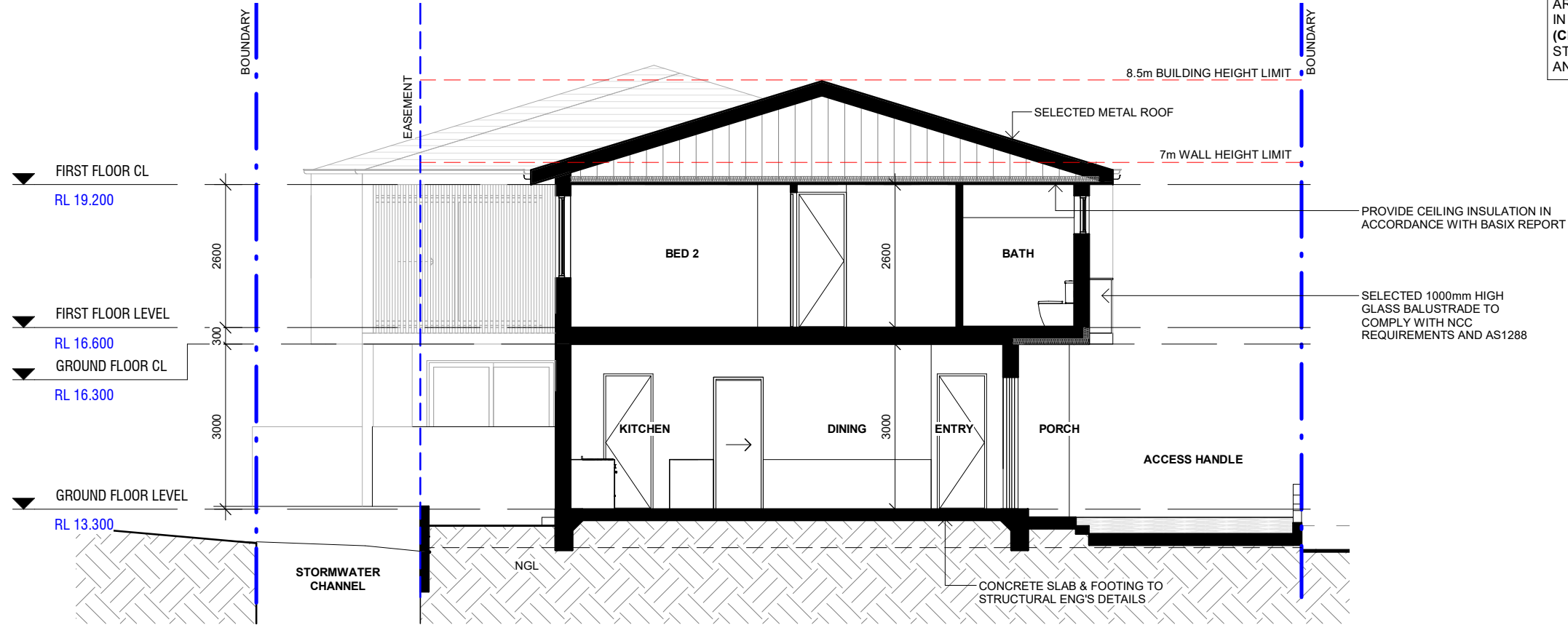
print 05.07.24
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checked CH
scale 1 : 100 @A3
DA ISSUE

RG24.17
drawing

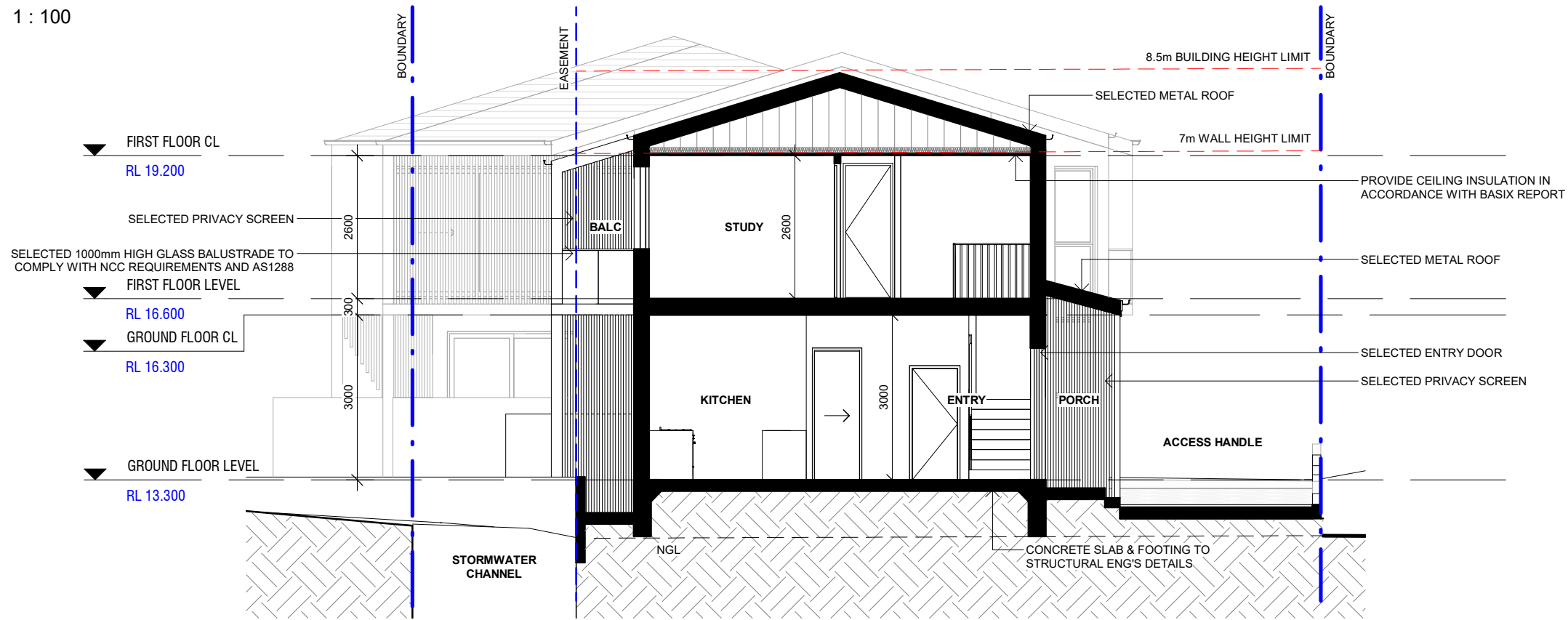
issue
D
A201

NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

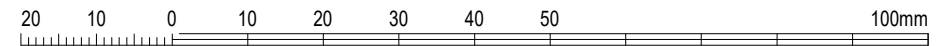
NOTE:
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH **BASIX REPORT (CERTIFICATE NUMBER: ????????)**, STRUCTURAL ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.



1 SECTION - UNIT 3
1 : 100



2 SECTION - UNIT 4
1 : 100



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LOT 2 DP536605

drawing
BUILDING SECTIONS -
SHEET 2

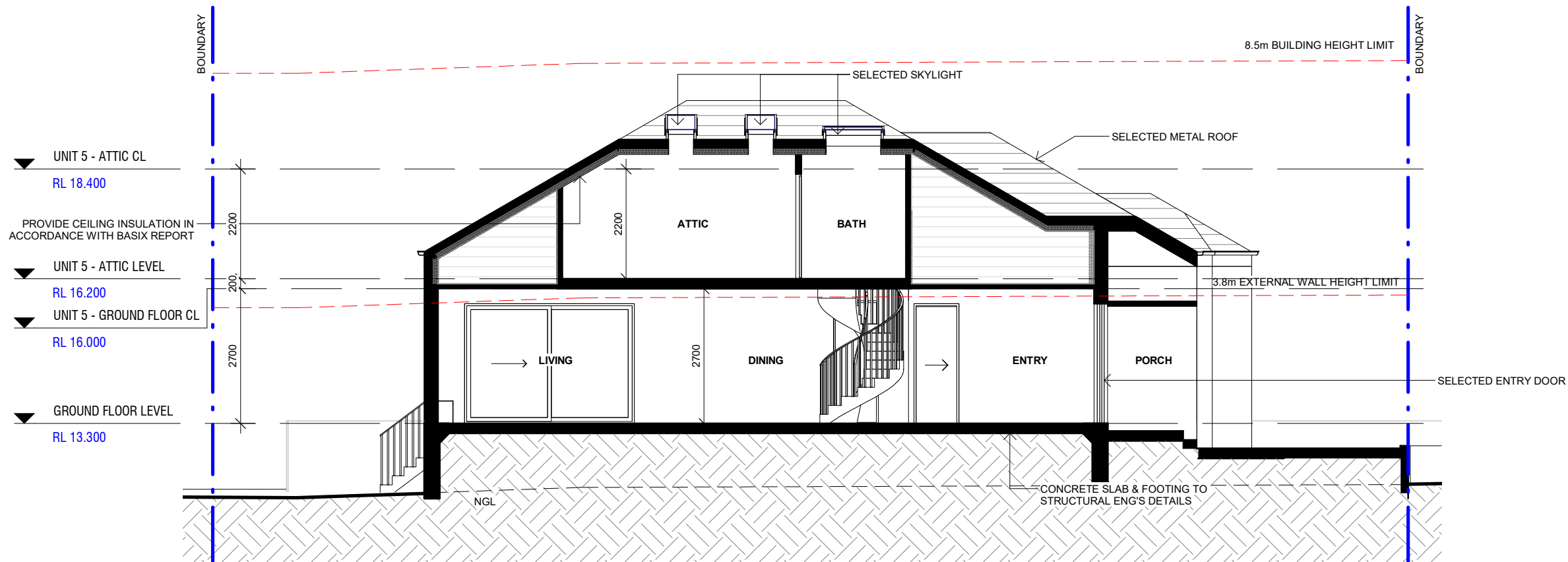
print 05.07.24
drawn: AD
checked CH
scale 1 : 100 @A3
DA ISSUE

RG24.17
drawing
issue

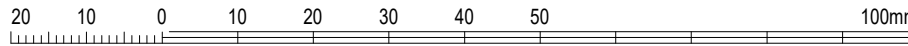
D
A202

NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

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1 SECTION - UNIT 5
1 : 100



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drawing

BUILDING SECTION -
SHEET 3

print 05.07.24

drawn: AD

checked: CH

scale 1 : 100

@A3

DA ISSUE

job

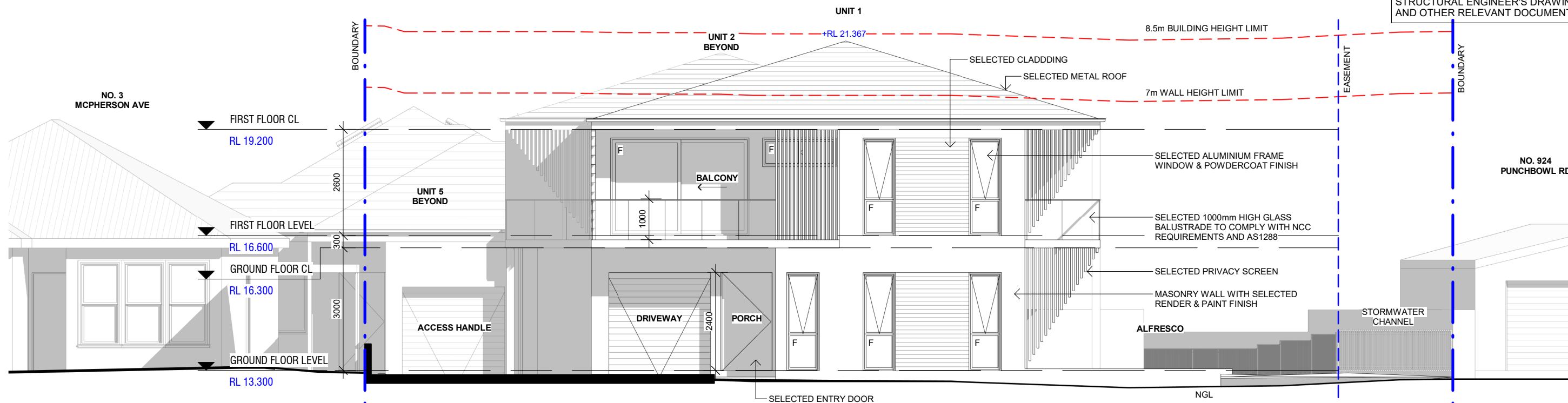
RG24.17
drawing

issue

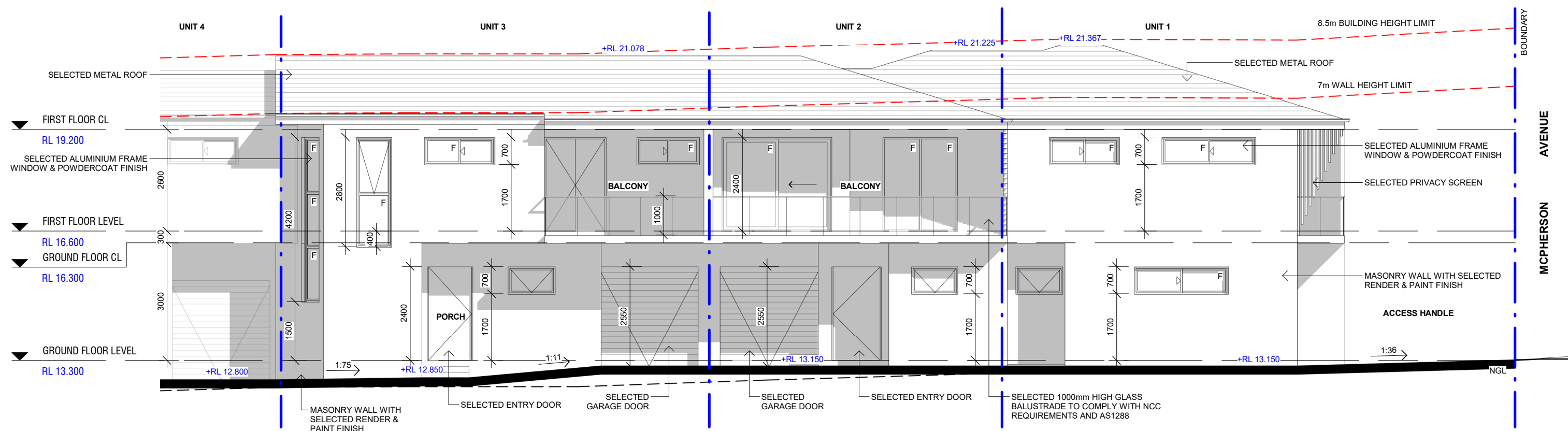
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A203

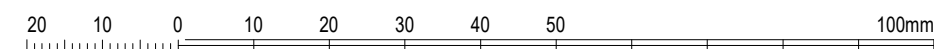
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1 EAST ELEVATION (MCPHERSON AVENUE - UNIT 1)
1 : 100

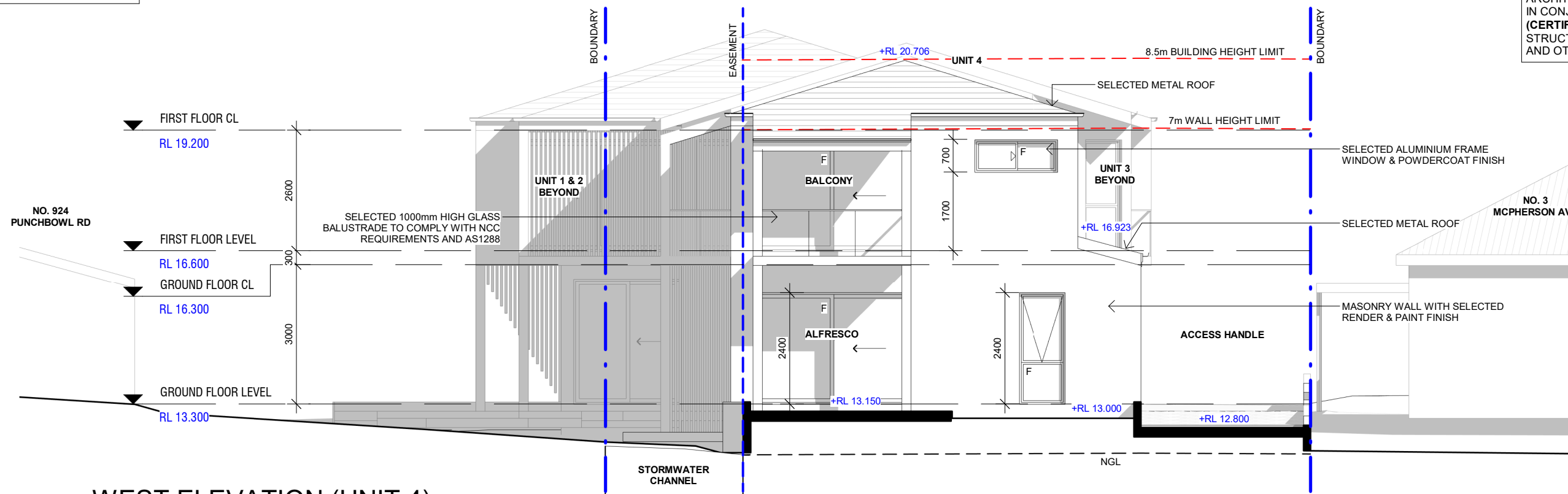


2 SOUTH ELEVATION (UNIT 1 - 3)
1 : 100

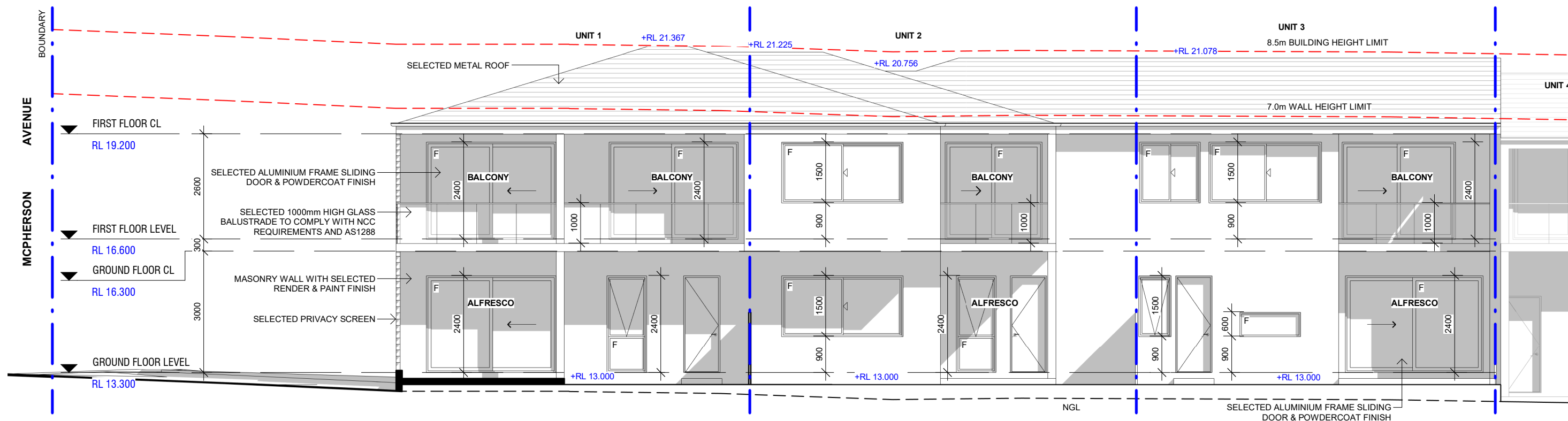


job	RG24.17	issue	E
		drawing	A301

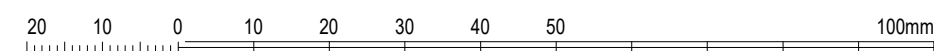
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1 WEST ELEVATION (UNIT 4)
1 : 100



2 NORTH ELEVATION (UNIT 1 - 3)
1 : 100



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LOT 2 DP536605

drawing

ELEVATIONS - SHEET
2

print 05.07.24

T drawn:
checked
scale

DA ISSUE

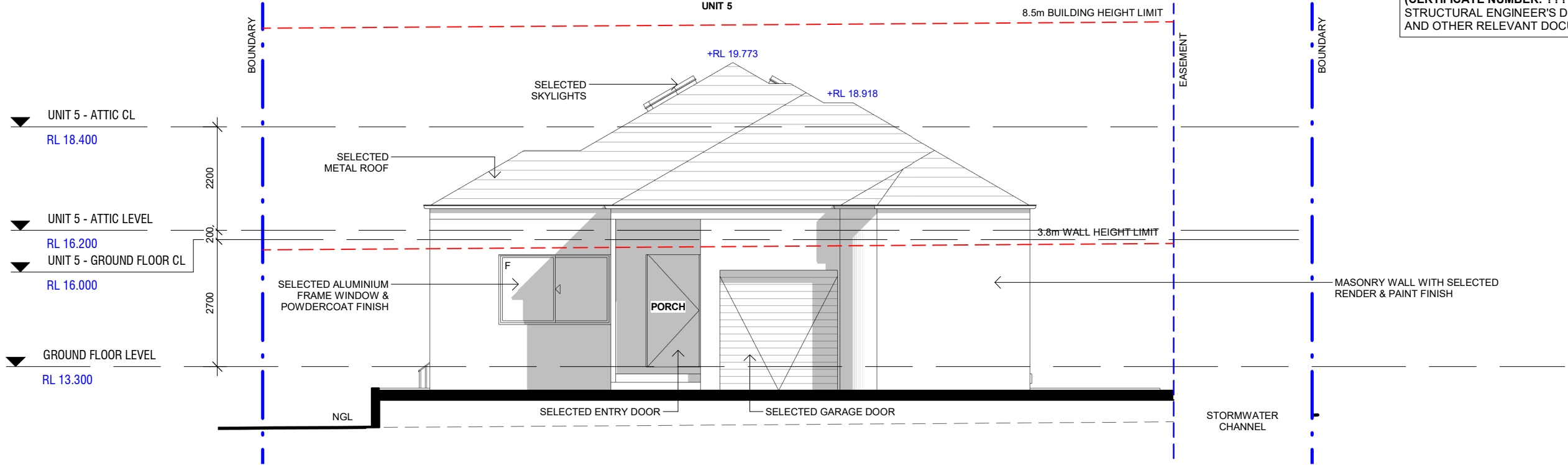
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RG24.17	drawing	issue
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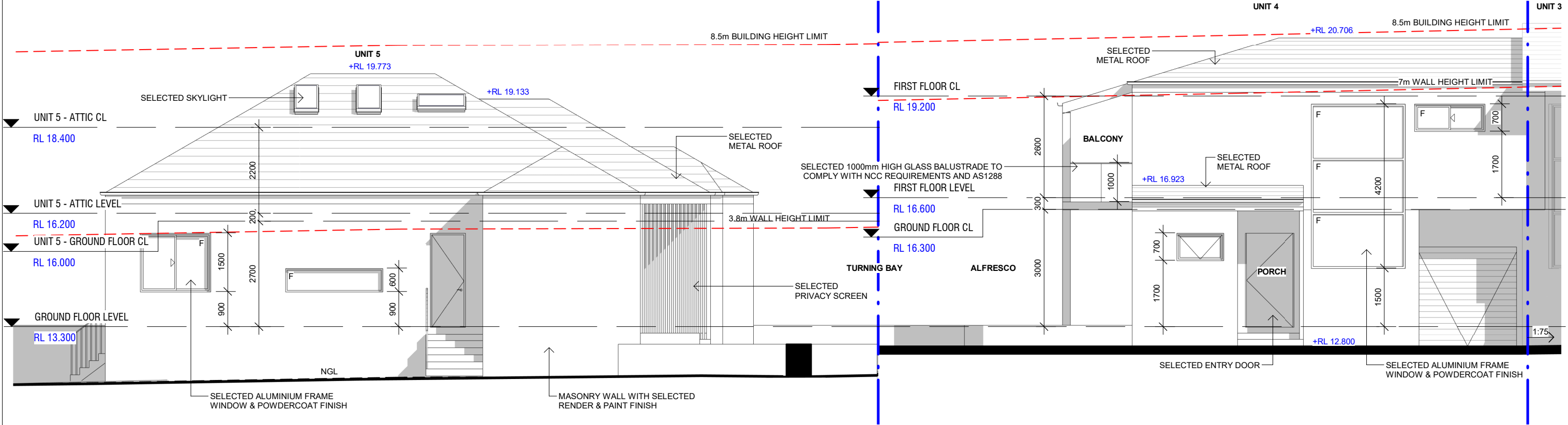
E	A302
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NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

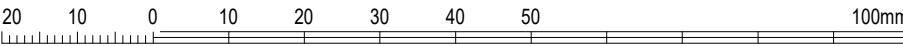
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1 EAST ELEVATION (UNIT 5)
1 : 100



2 SOUTH ELEVATION (UNIT 4 & 5)
1 : 100



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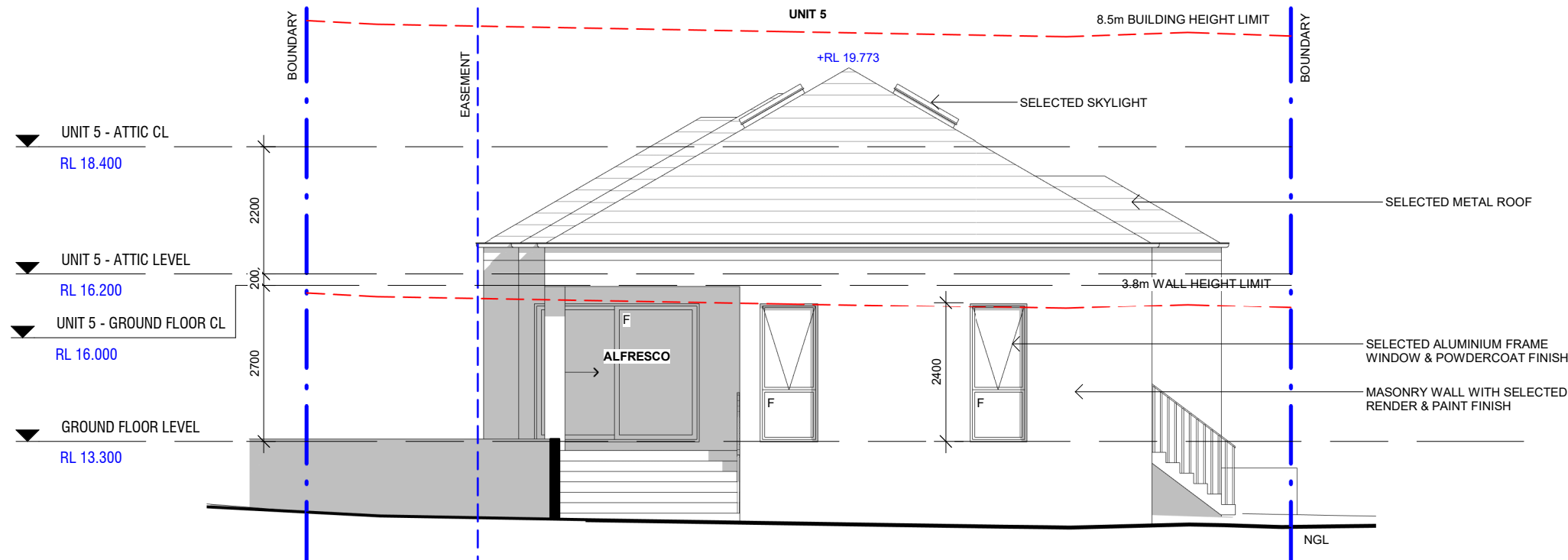
drawing
ELEVATIONS - SHEET
3

print 05.07.24
drawn: AD
checked: CH
scale 1: 100 @A3
DA ISSUE

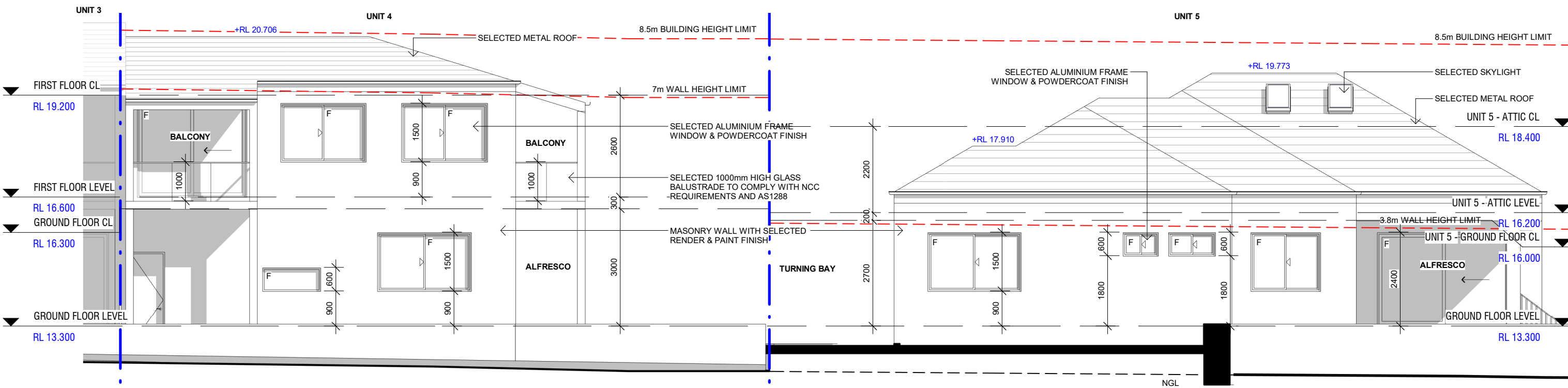
RG24.17
drawing
issue
F
A303

NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

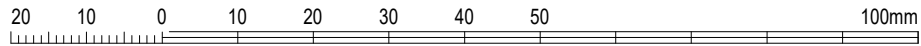
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1 WEST ELEVATION (UNIT 5)
1 : 100



2 NORTH ELEVATION (UNIT 4 & 5)
1 : 100



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e: info@resolut.com.au

client BASSIM OMAR

project
PROPOSED MULTI DWELLING
HOUSING

1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing

ELEVATIONS - SHEET
4

print 05.07.24

drawn: AD

checked: CH

scale 1:100

DA ISSUE

job

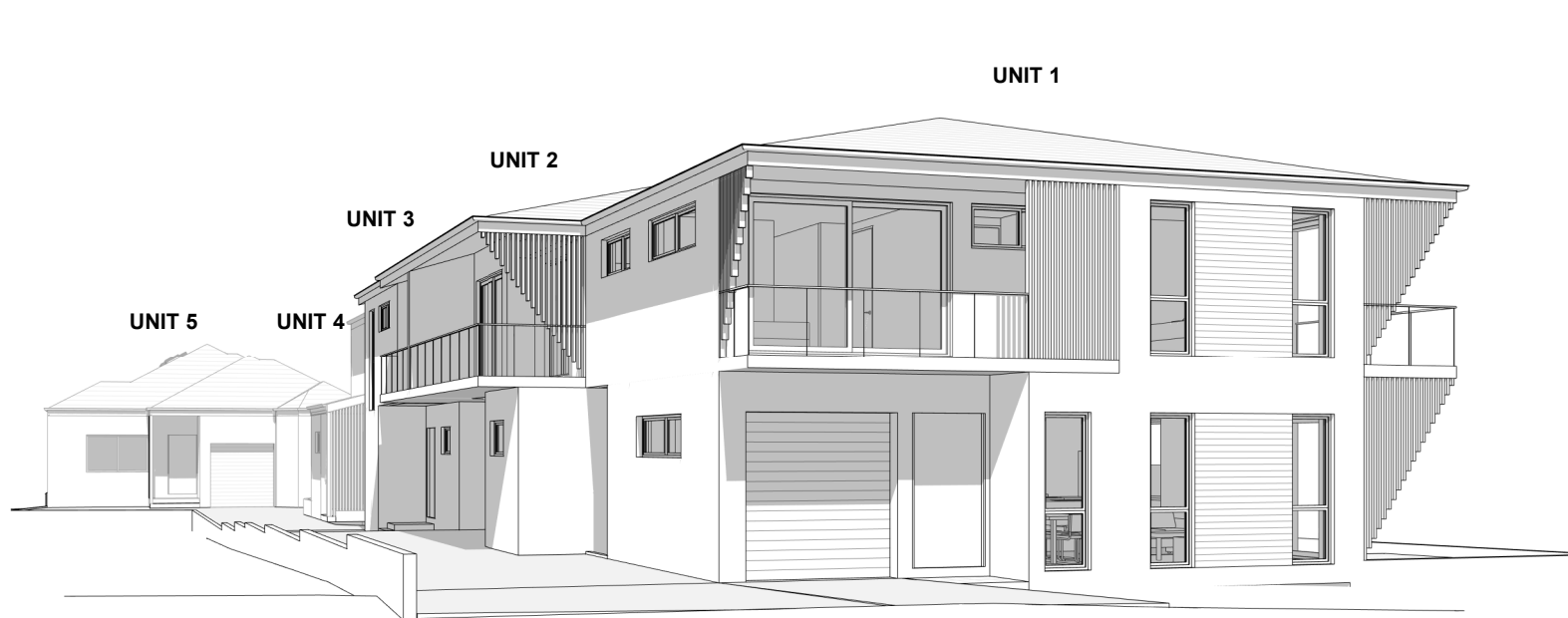
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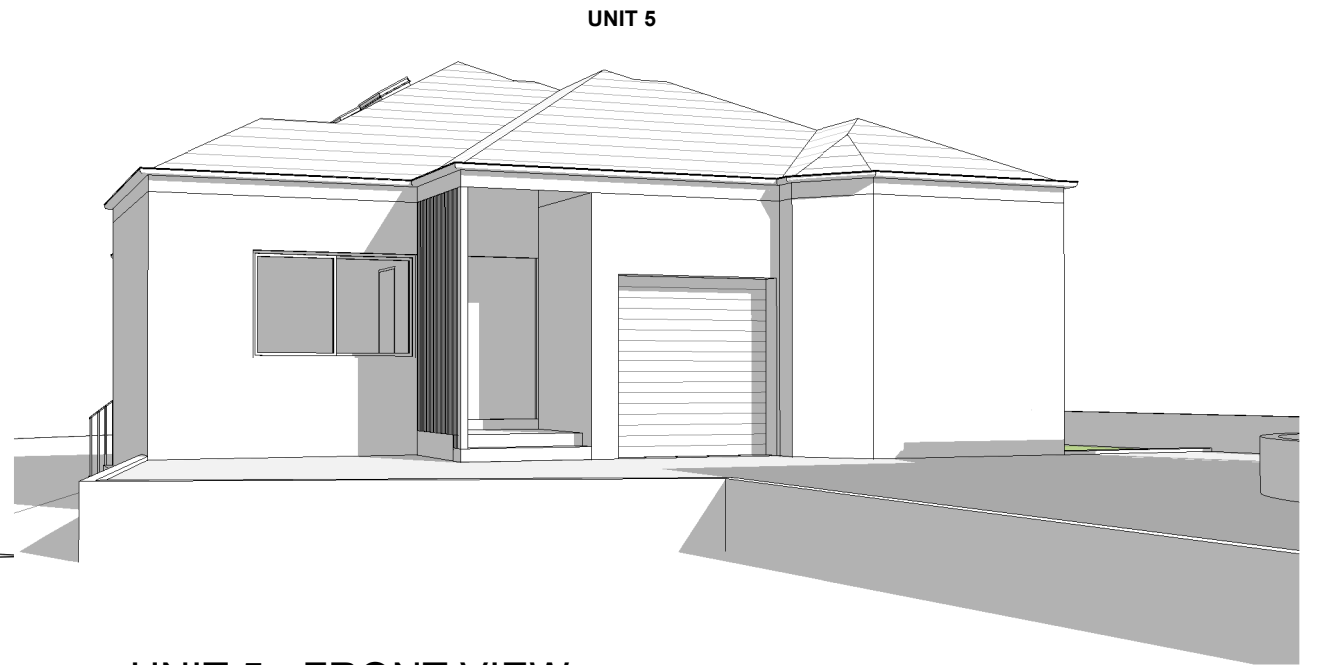
drawing

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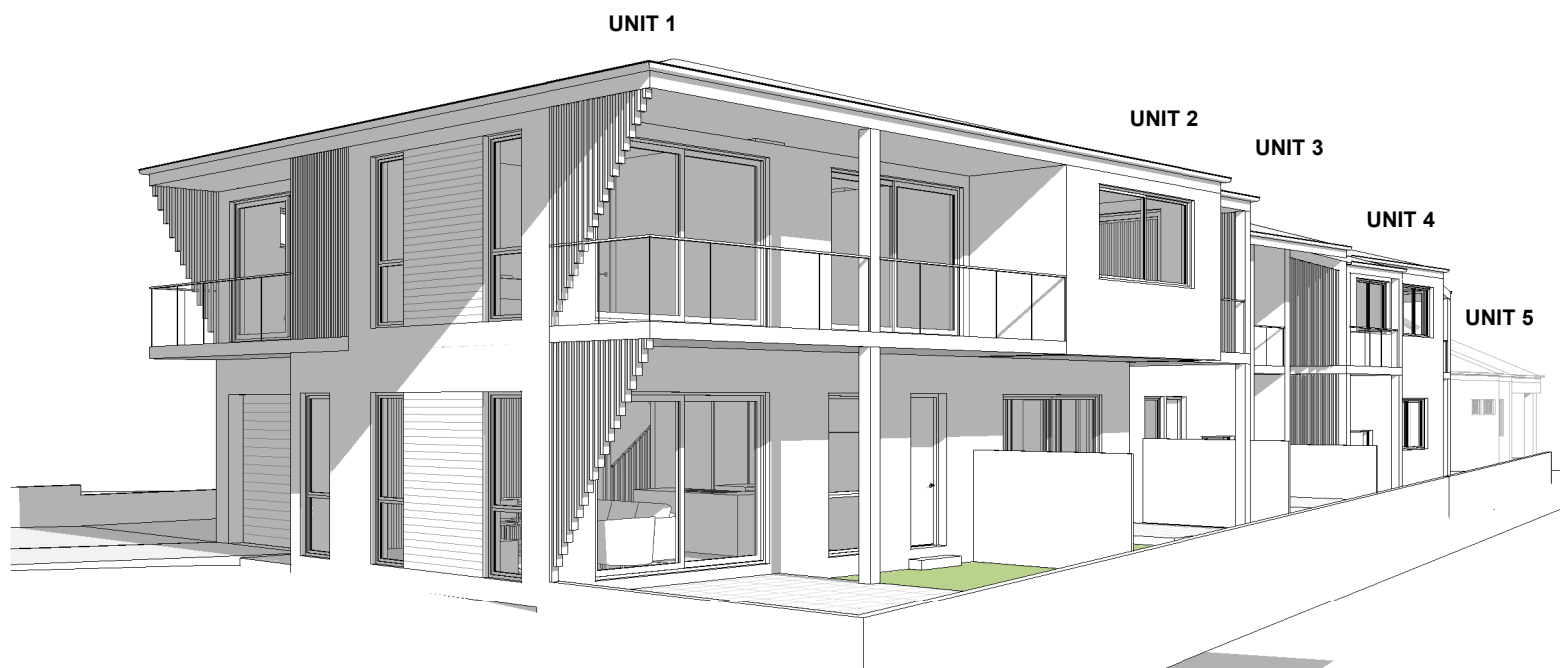
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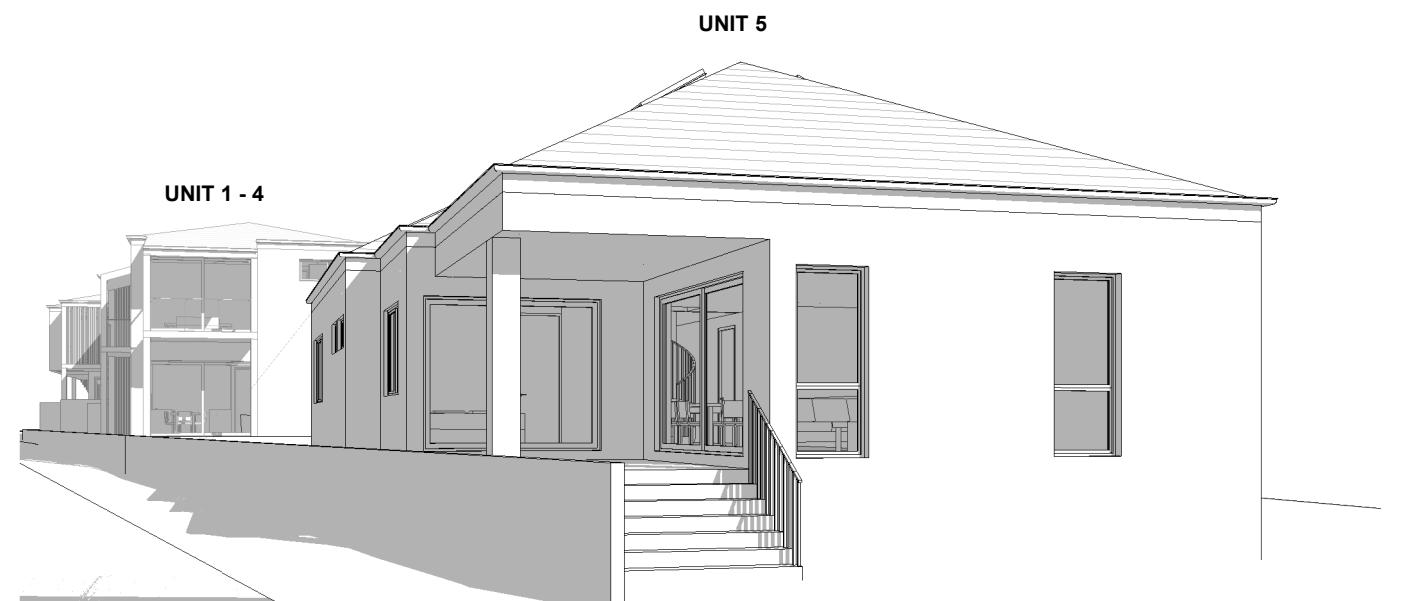
1 **MCPHERSON AVENUE - VIEW 1**
FOR ILLUSTRATION ONLY



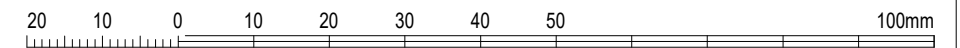
2 **UNIT 5 - FRONT VIEW**
FOR ILLUSTRATION ONLY



3 **FRONT VIEW 2 (MCPHERSON AVENUE)**
FOR ILLUSTRATION ONLY



4 **REAR VIEW**
FOR ILLUSTRATION ONLY



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ISSUE	DATE	REVISION
F	05.07.24	DRAFT DA FOR REVIEW
E	04.07.24	DRAFT DA FOR REVIEW
D	20.06.24	DRAFT DA FOR REVIEW
C	18.06.24	DRAFT DA FOR REVIEW
B	12.06.24	DRAFT DA FOR REVIEW

designed



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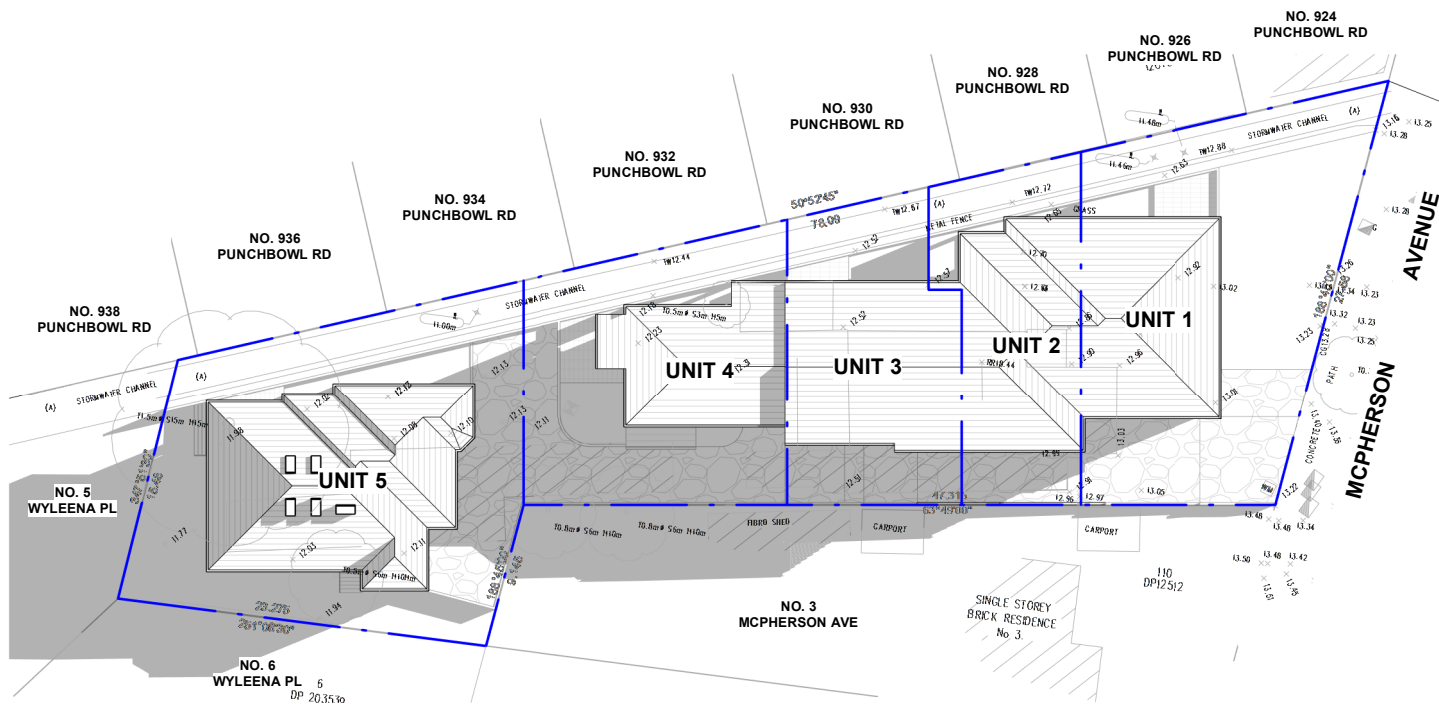
client BASSIM OMAR
project
PROPOSED MULTI DWELLING HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing
3D PERSPECTIVE VIEWS

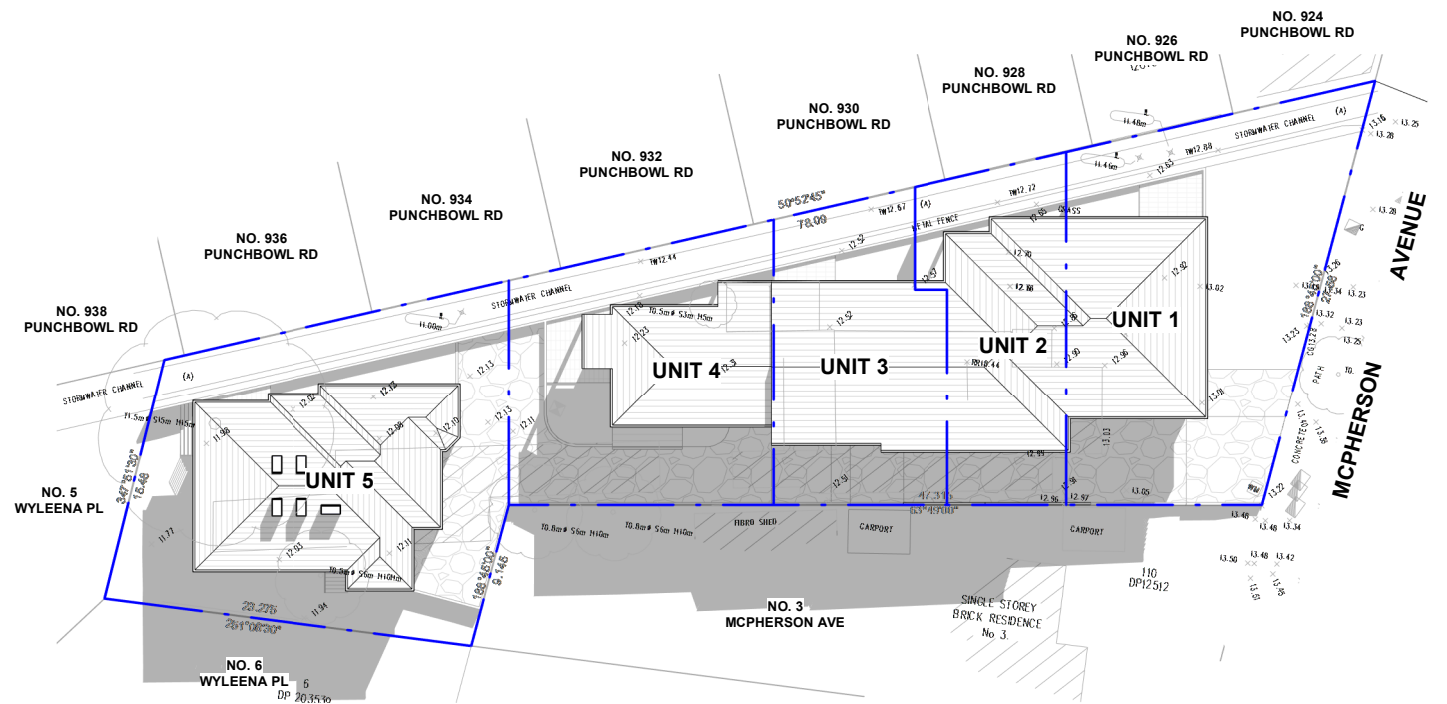
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checked CH
scale @A3
DA ISSUE

RG24.17
drawing issue

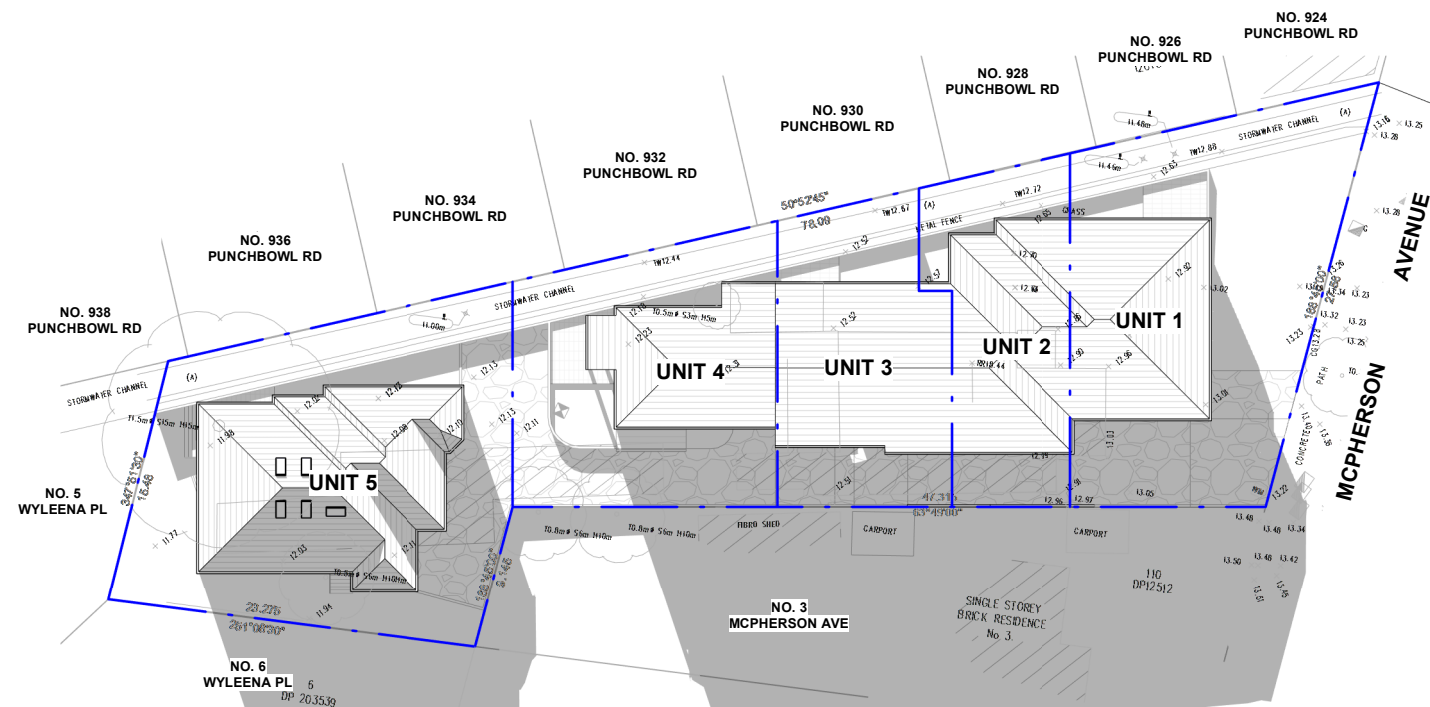
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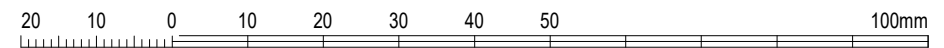
1 JUNE 21st 9am SHADOW DIAGRAM
NTS



2 JUNE 21st 12pm SHADOW DIAGRAM
NTS



3 JUNE 21st 3pm SHADOW DIAGRAM
NTS

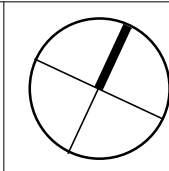


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ISSUE	DATE	REVISION
D	05.07.24	DRAFT DA FOR REVIEW
C	04.07.24	DRAFT DA FOR REVIEW
B	20.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

designed

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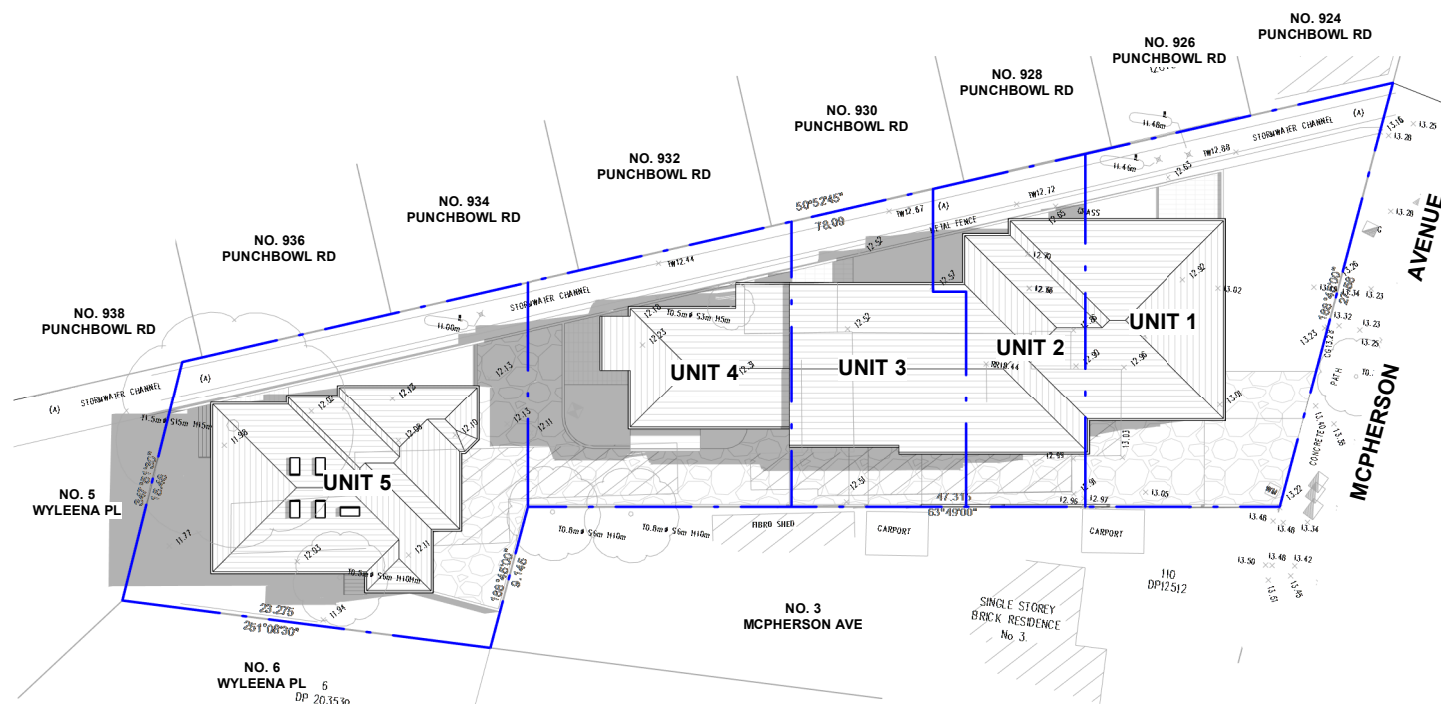


client BASSIM OMAR
project PROPOSED MULTI DWELLING HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

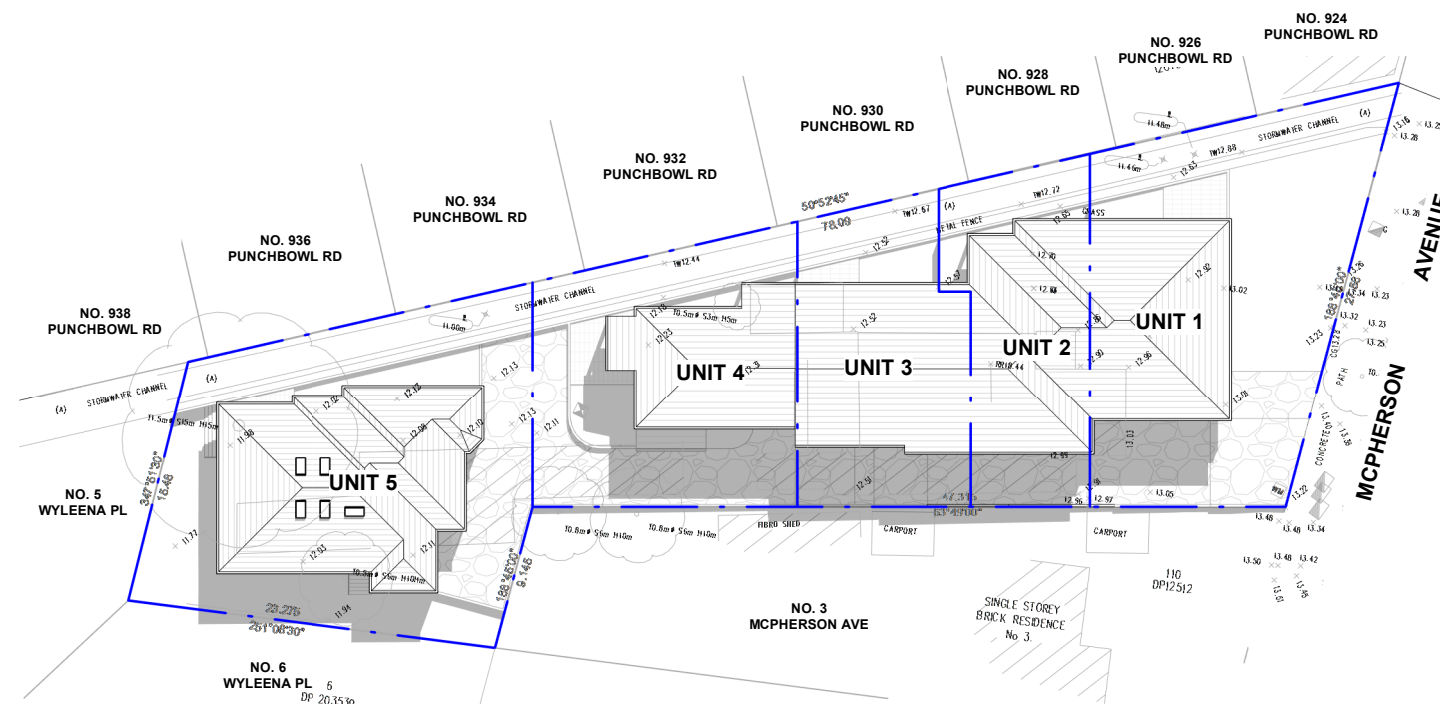
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drawn: AD
checked: CH
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DA ISSUE

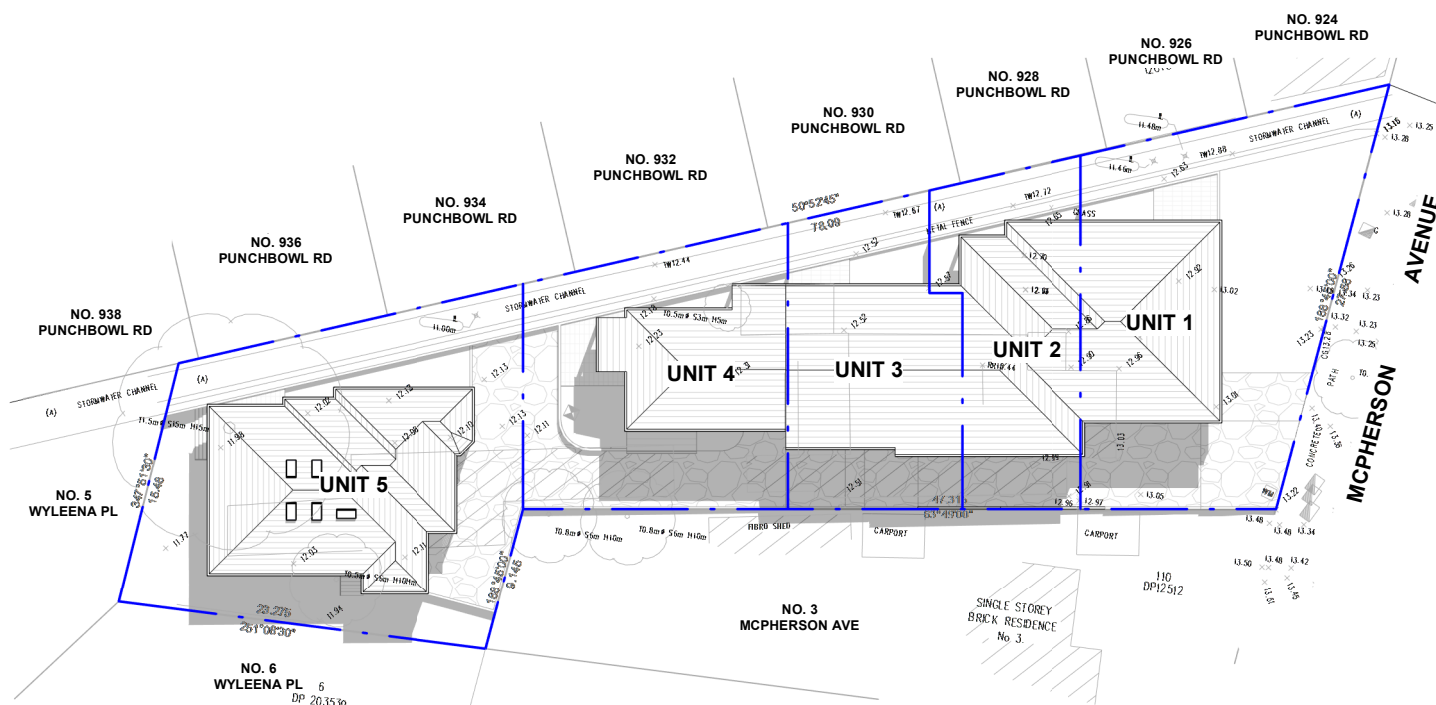
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drawing issue
D
A601



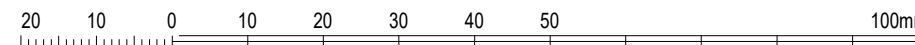
1 EQUINOX 9am SHADOW DIAGRAM
NTS



2 EQUINOX 12pm SHADOW DIAGRAM
NTS



3 EQUINOX 3pm SHADOW DIAGRAM
NTS



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ISSUE	DATE	REVISION
D	05.07.24	DRAFT DA FOR REVIEW
C	04.07.24	DRAFT DA FOR REVIEW
B	20.06.24	DRAFT DA FOR REVIEW
A	31.05.24	DRAFT DA FOR REVIEW

designed

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client BASSIM OMAR

project
PROPOSED MULTI DWELLING
HOUSING
1 MCPHERSON AVENUE, PUNCHBOWL NSW 2196
LOT 2 DP536605

drawing
PROPOSED EQUINOX
SHADOW DIAGRAM

print 05.07.24
drawn: AD
checked: CH
scale 1 : 475 @A3

DA ISSUE

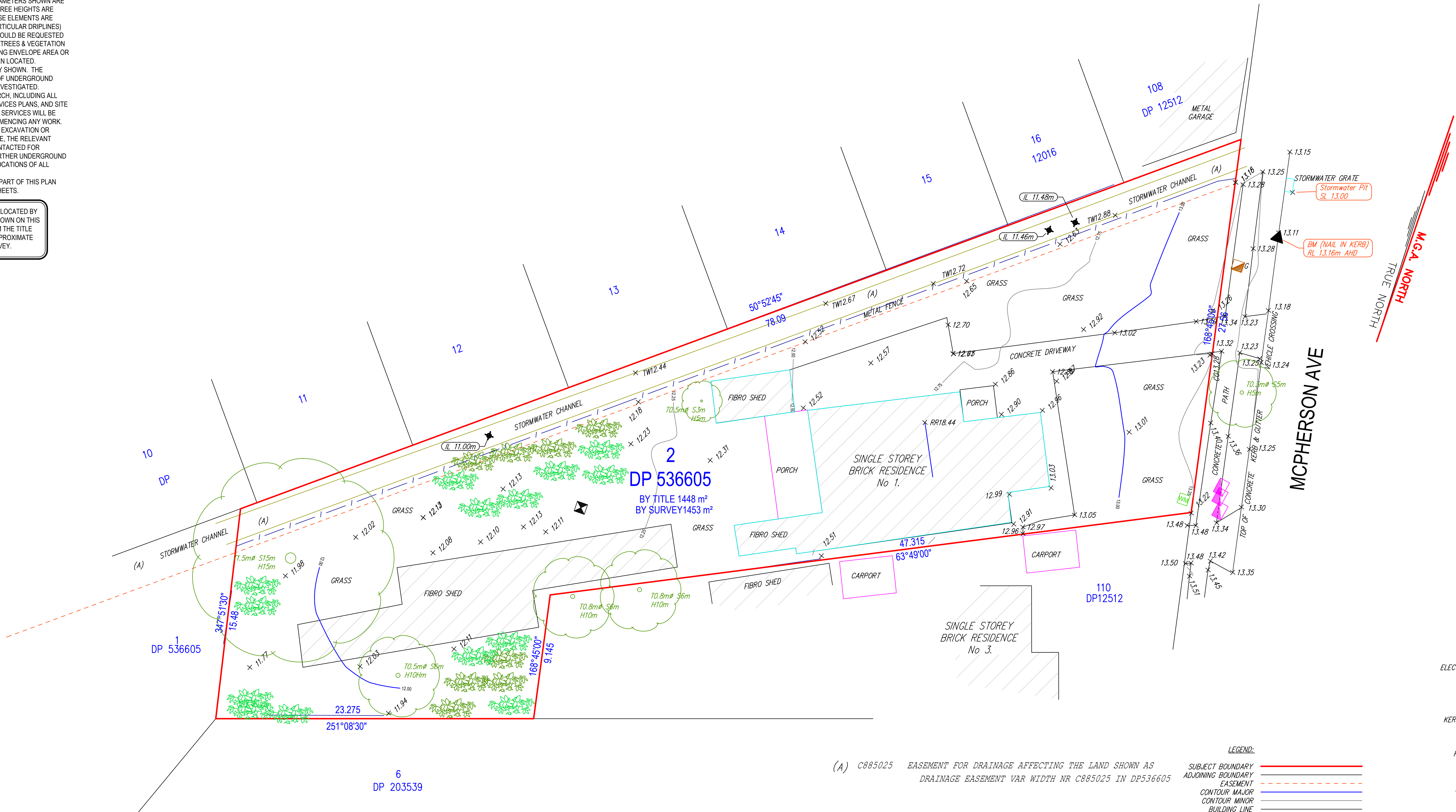
job
RG24.17
drawing
issue
D
A602

APPENDIX C – SURVEY PLAN

IMPORTANT NOTES:-

- THIS PLAN IS PREPARED FOR THE CLIENT NAMED HEREON FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSES OUTLINED IN THE JOB SCOPE AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- A BOUNDARY SURVEY HAS NOT BEEN MADE. IF ANY CONSTRUCTION IS INTENDED IN THE PROXIMITY OF THE BOUNDARIES IT IS RECOMMENDED THAT A FURTHER SURVEY BE REQUESTED FOR THE MARKING OF THE RELEVANT BOUNDARIES.
- BEARINGS RELATE TO NORTH ARROW IN RED.
- TREE SPREADS & TRUNK DIAMETERS SHOWN ARE DIAGRAMMATIC ONLY AND TREE HEIGHTS ARE ESTIMATED. IF ANY OF THESE ELEMENTS ARE CRITICAL TO DESIGN (IN PARTICULAR DRIPLINES) MORE SPECIFIC DETAILS SHOULD BE REQUESTED FOR ACCURATE LOCATION. TREES & VEGETATION NOT AFFECTING THE BUILDING ENVELOPE AREA OR ACCESS PATH HAS NOT BEEN LOCATED.
- VISIBLE SURFACE PITS ONLY SHOWN. THE EXISTENCE AND POSITION OF UNDERGROUND SERVICES HAS NOT BEEN INVESTIGATED.
- A CURRENT SERVICES SEARCH, INCLUDING ALL 'DIAL BEFORE YOU DIG' SERVICES PLANS, AND SITE CHECKINGS OF ALL EXISTING SERVICES WILL BE NECESSARY PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN INCLUDING SUBSEQUENT SHEETS.

BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.



(A) C885025 EASEMENT FOR DRAINAGE AFFECTING THE LAND SHOWN AS DRAINAGE EASEMENT VAR WIDTH NR C885025 IN DP536605

LEGEND:

SUBJECT BOUNDARY	---
ADJOINING BOUNDARY	---
EASEMENT	---
CONTOUR MAJOR	---
CONTOUR MINOR	---
BUILDING LINE	---
GUTTER LINE	---
RIDGE LINE	---
FENCE	---
GATE	---
TOP KERB	---
BOTTOM KERB	---
LIP	---
BACK OF KERB	---
OVERHEAD POWER	---
WALL	---
LINEMARKING	---

SYMBOLS:

BENCHMARK	▲
ELECTRICITY BOX	⊞
GATE	⌘
HYDRANT	⊕
KERB OUTLET/L	⊕
MAILBOX	⊞
POWER POLE	●
S/W GRATE	■
TELSTRA PIT	⊞
WATER MAIN	⊞
WATER TAP	⊕
GAS	⊞
HILLS HOIST	⊞
STREET SIGN	⊞
TREE & TRUNK	○

TAHA MASRI
REGISTERED LAND SURVEYOR

MASRI SURVEY GROUP PTY LTD
REGISTERED SURVEYORS

ABN 88 650 868 830
Mobile: 0447 623 522
taha@msgsurveyors.com.au
www.msgsurveyors.com.au

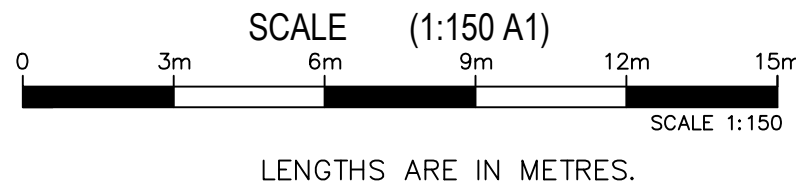
NOTE:
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REVISION No.	REVISION DATE:	COMMENT:
A	3/05/2024	INITIAL ISSUE

ABBREVIATIONS:

T - LINTEL (TOP WINDOWS)
B - SILL (BOT. WINDOWS)
D - DOOR
BM - BENCHMARK
FL - FLOOR LEVEL
GU - GUTTER RL
KO - KERB OUTLET

RR - ROOF RIDGE
TW - TOP OF WALL
LP - LIGHT POLE
SL - SURFACE LEVEL
CG - CHANGE OF GRADE
BK - BOTTOM OF KERB
BKB - BACK OF KERB



PLAN SHOWING DETAIL & LEVELS
LOT 2 IN DP 536605

CLIENT: OMAR FAMILY
PROJECT: DETAIL SURVEY
ADDRESS: 1 MCPHERSON AV PUNCHBOWL 2196

JOB No.: 3584
DATUM: AHD
DATE: 3/05/2024
DRAWN: TM
CHK: TM

LGA: CANTERBURY BANKSTOWN
ORIGIN: SSM 135491 RL13.785
SCALE: 1:150@A1
CONT. INTERVAL: 0.25m
SHEET 1 OF 1

APPENDIX D – CANTERBURY BANKSTONW FLOOD INFORMATION



Level 1, 66 - 72 Rickard Road, Bankstown NSW
PO Box 8, Bankstown NSW 1885
Tel: (02) 9707 9010 - Fax: (02) 9707 9408
DX 11220 BANKSTOWN
council@cbc.city.nsw.gov.au

CITY OF CANTERBURY BANKSTOWN

To: Bassim Omar
26 Mimosa St
BEXLEY NSW 2207

STORMWATER SYSTEM REPORT 1 McPherson Avenue, PUNCHBOWL NSW 2196

Date: 03-Nov-2023
Ref: WP-SIAONL-2215/2023
Development type: Villas Town/Houses

Yes	FLOOD RISK MANAGEMENT STUDY REQUIRED
-----	--------------------------------------

The site is affected by the following Sydney Water stormwater system components:

- Open concrete stormwater channel (according to Council records) and located along the northern site boundary within the site.
- Overland flowpath [floodway] for excess stormwater runoff from the upstream catchment and associated with this drainage system.

The site will be subject to stormwater inundation from this overland flowpath during large storm events. Refer to the attached "**100 year ARI & PMF Extent Map from Salt Pan Creek Overland Flow Catchment Study**".

The estimated maximum 100 year ARI* flood level at the site is RL 12.8 mAHD**.

The proposed development including floor levels, shall comply with the development controls specified in Chapter 2.2 Schedule 5, of Canterbury Bankstown's Development Control Plan 2023 - Catchments Affected by Stormwater Flooding.

For the proposed development, it will be necessary to carry out a flood risk management study to determine the following:

- **The post development 100 year ARI* water surface levels, and extent of flooding, at the site.**
- **The impact of the development on the 100 year ARI* inundation levels and on adjoining properties.**

Boundary fencing treatments necessary to pass the design floodway flows.

Runoff on the site, and naturally draining to it is to be collected and disposed of to Council's requirements detailed in Canterbury Bankstown Council's *Development Engineering Standards**** June 2023.

This report is given without the benefit of development plans or a site survey. Council may choose to vary some report requirements following a detailed evaluation of plans when they are submitted.

This report relates to the exposure of the subject site to stormwater system, both underground and overland flow only. It does not assess the suitability or otherwise of this site for the proposed development.

* Average Recurrence Interval

** Australian Height Datum

*** Canterbury Bankstown Council's *Development Engineering Standards June 2023* and Canterbury Bankstown's *Development Control Plan 2023* is available from Council's Customer Service Centre or Council Webpage.

PMF Probable Maximum Flood

Monir Korkis

Roads Infrastructure Services Officer

While the information provided within the following maps has been prepared with care Council acknowledges that they may contain errors or omissions and accepts no liability to users of the maps for any direct or indirect loss, damage, cost or expense arising from the use of such information. Where there is any doubt regarding the accuracy of the information on a map, users are to consult Council.

 Flood Extent
 Flood Contours (m AHD)
 Ground Contours (mAHD)

**100 year ARI (1% AEP) Depth (m)
from Salt Pan Creek Overland Flow Flood Study
for 1 McPherson Avenue, Punchbowl**

100 yr ARI Depth (m)

0.1 to 0.2
0.2 to 0.3
0.3 to 0.4
0.4 to 0.5
0.5 to 0.6
0.6 to 0.7
0.7 to 0.8
0.8 to 0.9
0.9 to 1
1 to 1.1
1.1 to 1.2
1.2 to 1.3
1.3 to 1.4
1.4 to 1.5
1.5 to 1.75
1.75 to 8.5

CAUTION

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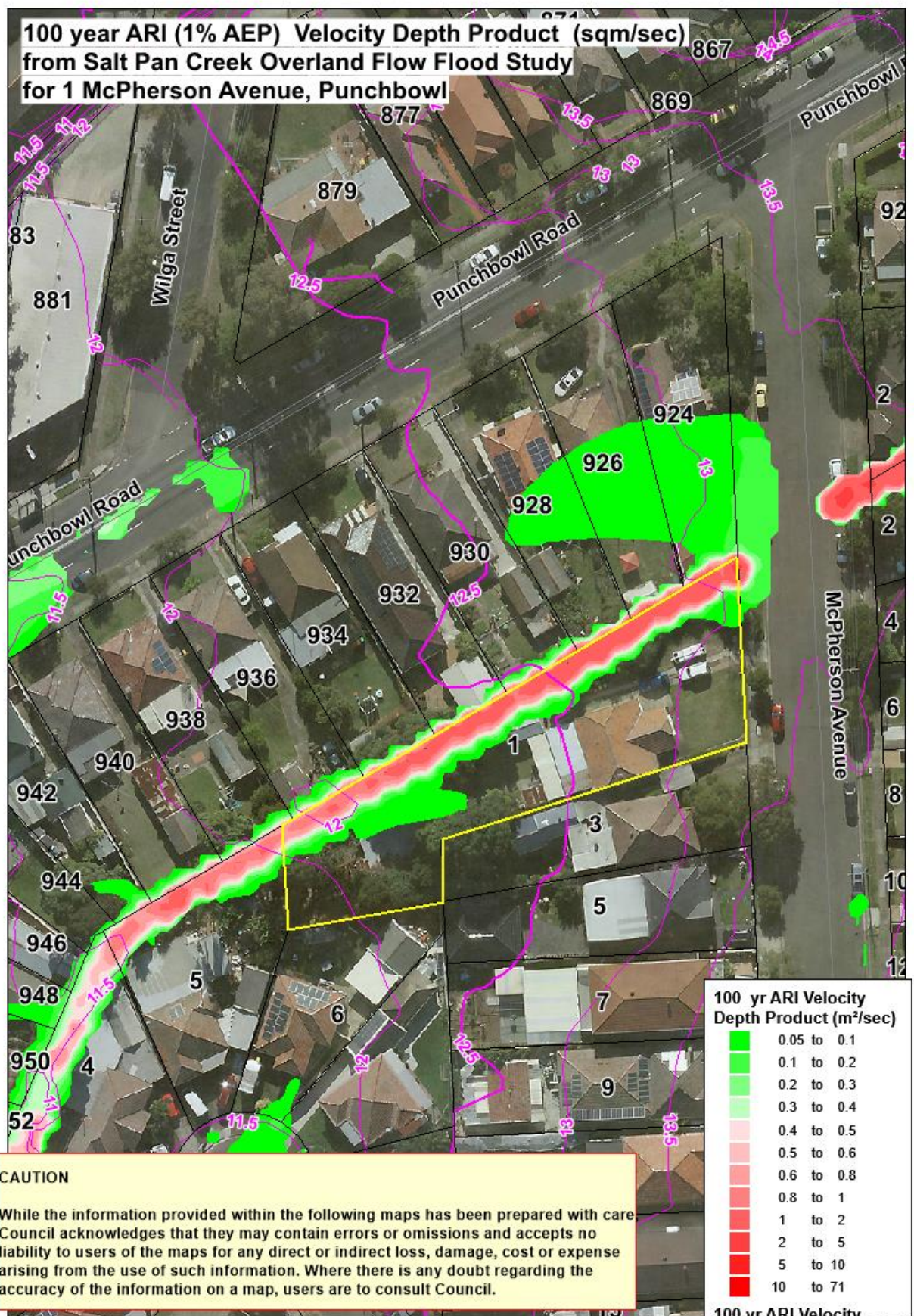
CAUTION

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100 yr ARI Depth (m)

0.1 to 0.2
0.2 to 0.3
0.3 to 0.4
0.4 to 0.5
0.5 to 0.6
0.6 to 0.7
0.7 to 0.8
0.8 to 0.9
0.9 to 1
1 to 1.1
1.1 to 1.2
1.2 to 1.3
1.3 to 1.4
1.4 to 1.5
1.5 to 1.75
1.75 to 8.5

**100 year ARI (1% AEP) Velocity Depth Product (sqm/sec)
from Salt Pan Creek Overland Flow Flood Study
for 1 McPherson Avenue, Punchbowl**



PMF Extent and Contour Levels (mAHD)¹
from Salt Pan Creek Overland Flow Flood Study
for 1 McPherson Avenue, Punchbowl

CAUTION

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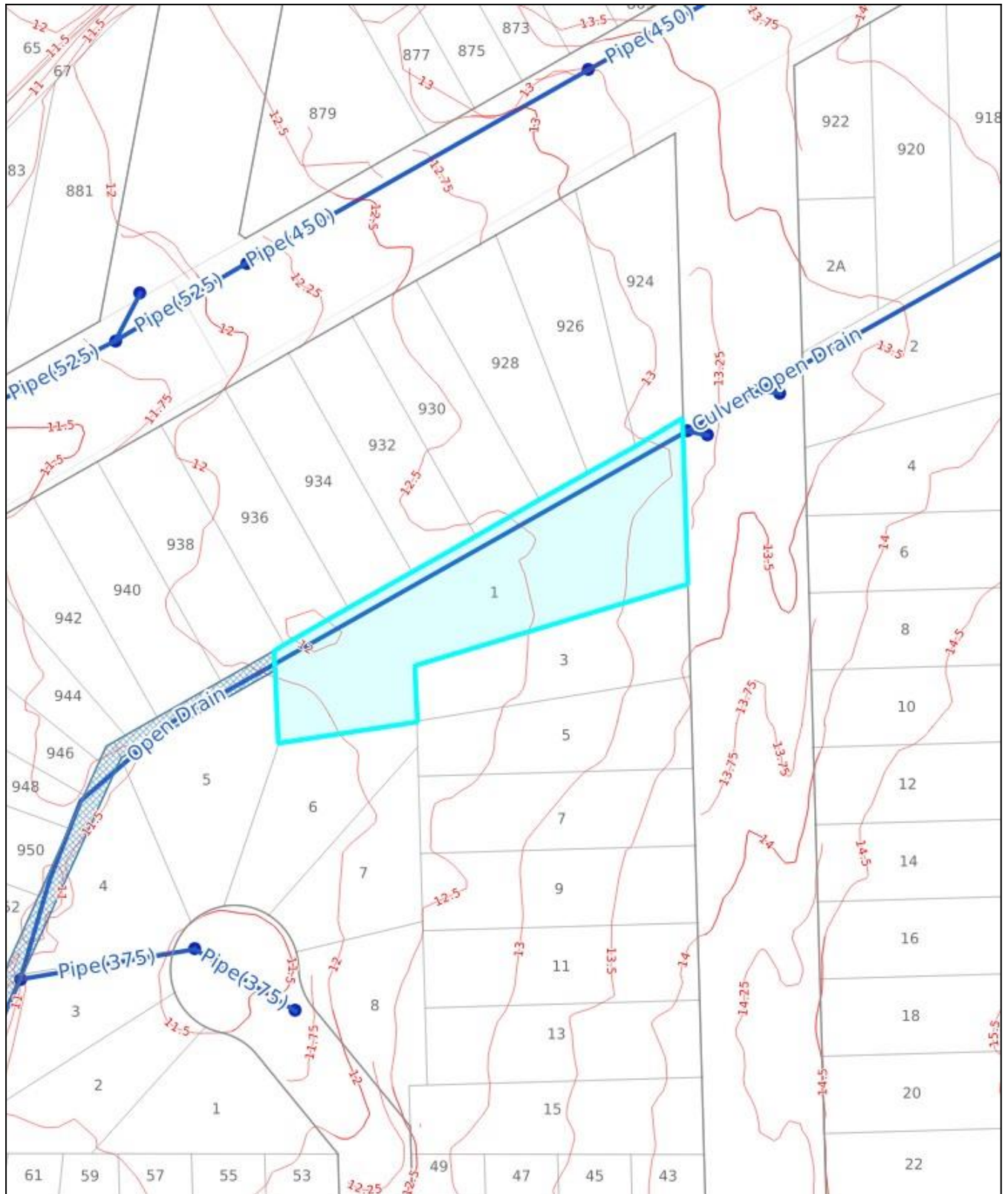
PMF Contours & Extent

- Flood Contours (mAHD)
- Ground Contours (mAHD)
- PMF Extent

While the information provided within the following maps has been prepared with care Council acknowledges that they may contain errors or omissions and accepts no liability to users of the maps for any direct or indirect loss, damage, cost or expense arising from the use of such information. Where there is any doubt regarding the accuracy of the information on a map, users are to consult Council.

— Flood Contours (mAHD)
— Ground Contours (mAHD)
PMF Extent

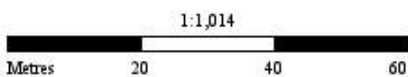
GIS Local Map



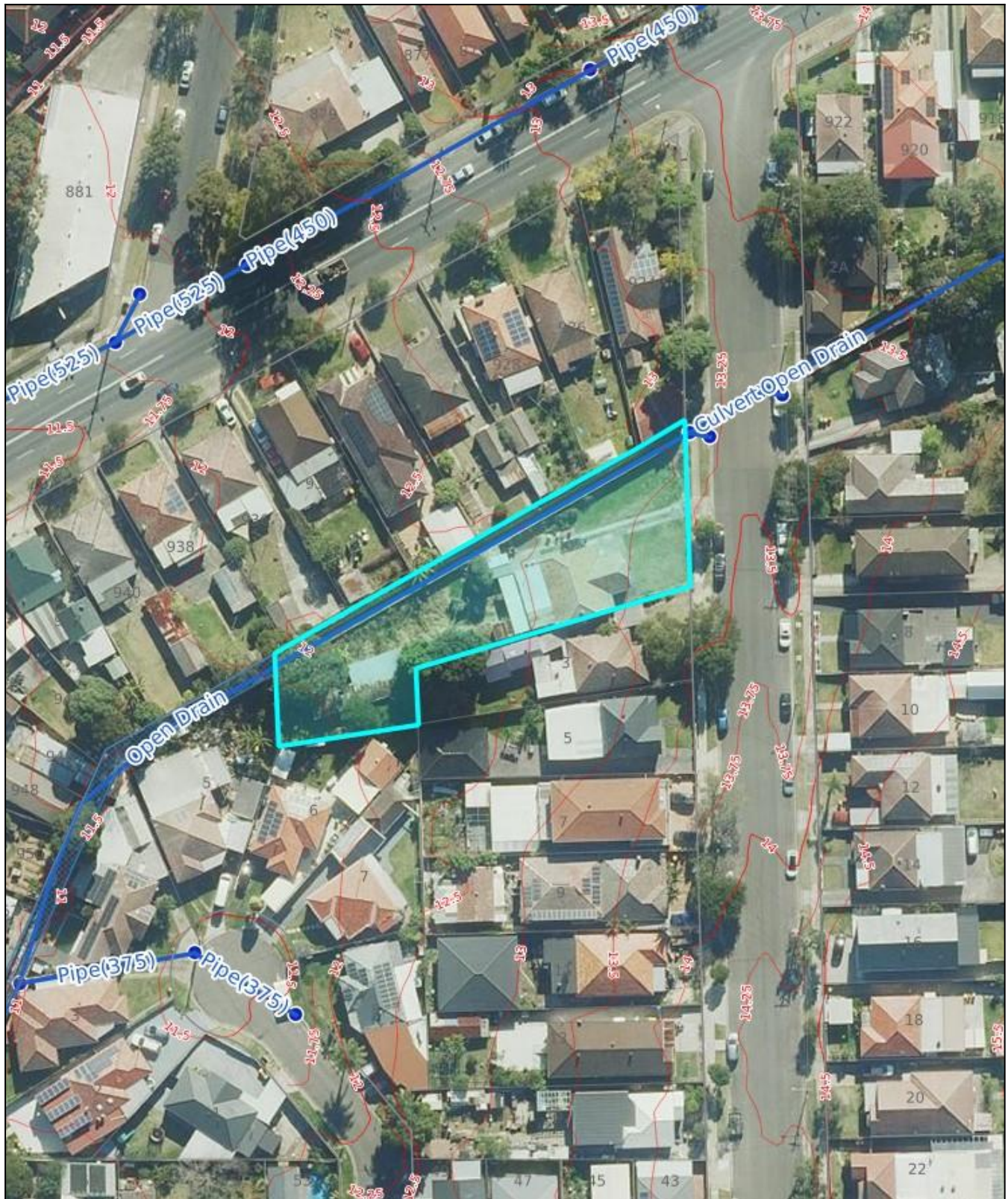
DATE:6 Nov 2023 06:50

PREPARED BY: Monir Korkis

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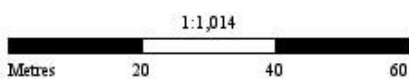
Aerial Local Map



DATE:6 Nov 2023 06:49

PREPARED BY: Monir Korkis

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LEGEND

